

PROPOSAL:

Development of two low-rise apartment buildings and conservation of a heritage building.

- **CCP Amendment** to increase the density in the Low Rise land use designation
- **Rezoning** from R1 and R3 to CD
- **Development Permit**
- **Heritage Revitalization Agreement**
- **Subdivision** from two lots into three lots

LOCATION:

13761 Grosvenor Road
 13753 Grosvenor Road

SECONDARY LAND USE PLAN:

City Centre Plan



RATIONALE SUMMARY

The proposed development complies with the Official Community Plan and the City Centre Plan in relation to housing diversity and heritage conservation. The proposal features retention and restoration of the McCurdy Residence, one of only three surviving examples of Dutch Colonial Revival architecture in Surrey. The proposal represents a rare opportunity to conserve a high-quality heritage building in North Surrey. Staff support the proposed development as it is consistent with applicable planning policies and contributes to housing supply and diversity, heritage conservation and ongoing neighbourhood revitalization in City Centre.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council support amending the City Centre Plan to increase the maximum permitted density of the land from 3.0 FAR (net) to 3.2 FAR (net) in the Low Rise designation and consider passing a resolution when the project is considered for final adoption (Appendix A).
2. Council endorse the Public Notification to proceed for a Bylaw to rezone Block 1 of the subject site from Suburban Residential Zone (R1) and Urban Residential Zone (R3) to Comprehensive Development Zone 376 (CD-376). If supported the Bylaw will be brought forward for First, Second and Third Reading.
3. Council endorse the Public Notification to proceed for a Bylaw to rezone Block 2 of the subject site from Suburban Residential Zone (R1) and Urban Residential Zone (R3) to Comprehensive Development Zone 377 (CD-377) . If supported the Bylaw will be brought forward for consideration of First, Second and Third Reading.
4. Should the rezoning Bylaws each receive First, Second and Third Reading, Council is requested to introduce a Bylaw to allow the Owner and the City of Surrey to enter into a Heritage Revitalization Agreement (HRA) to allow for the restoration and maintenance of the McCurdy Residence at 13761 Grosvenor Road (Appendix B) and that Council consider granting First, Second and Third Reading to the HRA Bylaw.
5. Council authorize staff to draft Development Permit No. 7925-0164-00 generally in accordance with the attached drawings (Appendix C).
6. Council instruct staff to resolve the following issues prior to final approval:
 - (a) resolution of all engineering requirements to the satisfaction of the General Manager, Engineering (Appendix D);
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission and acceptance of finalized architectural drawings, including resolution of all urban design issues, to the satisfaction of the Planning and Development Department;

- (d) submission and acceptance of finalized landscaping drawings, including resolution of all landscape design issues, and a landscaping cost estimate to the satisfaction of the Planning and Development Department;
- (e) submission and acceptance of a finalized arborist report, including satisfying the required tree replacement, to the satisfaction of the Planning and Development Department;
- (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (g) the applicant provide a financial bond to secure for the relocation, protection and restoration of the heritage building known as the McCurdy Residence at 13761 Grosvenor Road;
- (h) demolition of existing buildings and structures, with the exception of the McCurdy Residence at 13761 Grosvenor Road, to the satisfaction of the Planning and Development Department; and
- (i) registration of a statutory right-of-way for a publicly-accessible private sidewalk along the Kalmar Road frontage;
- (j) registration of a volumetric statutory right-of-way for two publicly-accessible open spaces; and
- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture, and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

DEVELOPMENT PROPOSAL

- The applicant is proposing the development of two conjoined six-storey apartment buildings, as well as the retention, restoration and rehabilitation of a two-storey heritage building known as the McCurdy Residence. The proposal generally complies with the Official Community Plan and the City Centre Plan and associated policies. Staff support the application proceeding.
- The application includes the following:
 - **City Centre Plan Amendment** to increase the maximum permitted density of the land from 3.0 FAR (net) to 3.2 FAR (net) in the Low Rise designation.
 - **Rezoning** from Suburban Residential Zone (R1) and Urban Residential Zone (R3) to Comprehensive Development Zone (CD).
 - **Subdivision** from two lots into three lots.
 - **Development Permit** for Form and Character.
 - **Heritage Revitalization Agreement (HRA)** to conserve the McCurdy Residence.

- The table below provides a summary of the proposed development.

	Proposal
Lot Area	
Gross Site Area:	6,225 sq. m.
Road Dedication:	392 sq. m.
Undevelopable Area:	1,087 sq. m.
Net Site Area:	4,747 sq. m.
Density (net)	3.15 FAR
Number of Lots	3
Lot Coverage:	58%
Yards and Setbacks:	
Front (Grosvenor Rd):	4.5 m
Front (future Kalmar Rd):	4.5 m
Side (west):	3.0 m
Side (east):	3.0 m
Height of Buildings	
Building 1:	21.5 m
Building 2:	22.2 m
Amenity Space	
Indoor Amenity:	603 sq. m. [with cash-in-lieu meets the Zoning Bylaw requirement]
Outdoor Amenity:	767 sq. m. [meets the Zoning Bylaw requirement]
Floor Area	
Residential	15,062 sq. m.
Residential Units:	
Micro Suite:	9 (4% of total)
Studio:	49 (20% of total)
1-Bedroom:	136 (55% of total)
2-Bedroom:	44 (18% of total)
3-Bedroom:	9 (4% of total)
Total:	247

SITE CONTEXT & BACKGROUND

- The subject site is approximately 0.62 hectares in size (gross) and is located on the north-west side of Grosvenor Road. Grosvenor Road runs diagonally between King George Boulevard and Lorne Circus, the traffic circle which forms one of the most recognizable historic elements of the master-planned Port Mann neighbourhood.
- The parcel at 13753 Grosvenor Road includes a 6.0 metre wide portion of land along its west lot line with frontage on Bentley Road and which is hooked to the development site across the lane (i.e. future Kalmar Road). This strip of land is an artefact of the subdivision of the previous parent parcel and under development application No. 7917-0544-00 (approved in December 2022). A 6.0 m wide “No Build” covenant was registered along the entire west lot line at that time, in order to facilitate future consolidation with lands to the west.

- The subject site is designated Multiple Residential in the Official Community Plan (OCP), Low Rise in the City Centre Plan, and is zoned Suburban Residential Zone (R₁) and Urban Residential Zone (R₃).
- The site currently contains a single-detached dwelling on each of the two subject parcels. The dwelling on the parcel at 13761 Grosvenor Road, currently vacant, is a heritage building constructed in 1938 and known as the McCurdy Residence (*see discussion below*).
- The site is moderately sloped, with an incline of approximately 3.5 metres from the north-west to the south-east. The surrounding neighbourhood is principally low-density residential, but the two development sites immediately to the north are currently under construction, and there are numerous active development applications nearby.

Direction	Existing Use	OCP/Secondary Land Use Plan Designation	Existing Zone
North (Across Lane/Future Kalmar Road):	Under construction (low-rise apartment)	<u>OCP</u> : Multiple Residential <u>CCP</u> : Low Rise	CD
East:	Single-detached home	<u>OCP</u> : Multiple Residential <u>CCP</u> : Low Rise	R ₃
South (Across Grosvenor Road):	Single-detached homes, duplex	<u>OCP</u> : Multiple Residential <u>CCP</u> : Low Rise	R ₃
West:	Single-detached homes	<u>OCP</u> : Multiple Residential <u>CCP</u> : Low Rise	R ₃

POLICY & BYLAW CONSIDERATIONS

Secondary Land Use Plan Amendment

- The subject site is designated Low Rise in the City Centre Plan, with a maximum permitted density of 3.0 FAR (net) in accordance with the OCP, as the site falls within Tier 3 of the Gateway Transit-Oriented Area. The applicant proposes an amendment to increase the maximum density in the Low Rise designation from 3.0 FAR (net) to 3.2 FAR (net) for the development portion of the subject site (see below). The building form is comparable to other Low Rise developments, and the additional density provides a modest incentive to conserve the heritage building on the site.

Zoning Bylaw

- The applicant proposes to rezone the subject site to two "Comprehensive Development (CD)" Zones (see Appendix E). The first Bylaw relates to the proposed low-rise development site (Block 1), while the second Bylaw relates to the 6.0 metre "No Build" areas (Block 2), which the applicant intends to subdivide from the development site and which is intended to be consolidated with the lands to the west to facilitate future redevelopment. The proposed CD Bylaws include provisions, such as permitted use and density, based on the RM-70 and the R3 Zones, respectively. Development statistics can be found in the Development Proposal section above.
- CD-376 would rezone the development site (Block 1) and includes the following provisions compared to RM-70 Zone:
 - Increases the maximum density (with amenity contribution) from 1.50 FAR to 3.20 FAR;
 - Increases the maximum lot coverage from 33% to 58%; and
 - Decreases the minimum setbacks from 7.5 m to 4.5 m (along the street frontages) and 3.0 m (along the side lot lines).
- CD-377 would rezone the "No Build" areas (Block 2) and includes the following provisions compared to the R3 Zone:
 - Decreases the minimum lot width (with amenity contribution) from 15 m to 6 m; and
 - Increases the permitted density (with amenity contribution) from 18 lots per hectare to 20 lots per hectare.

DEVELOPMENT CONSIDERATIONS

Engineering & Transportation Considerations

- The project is subject to all conditions listed in the engineering requirements in Appendix D.
- The applicant is required to provide a 5.0 m road dedication along the north lot line to upgrade the existing, unbuilt lane to a modified Local street named Kalmar Road. Pending future redevelopment to the west, Kalmar Road is anticipated to extend through to Howey Road. Given the modified 15.0 m width, the applicant is requested to provide a public sidewalk on-site at that frontage. Site access will be provided off Kalmar Road.
- There are two bus stops on Grosvenor Road less than 70 metres from the subject site, with service on Route #373 Guildford Exchange/Surrey Central Station. Access to two additional bus routes is available within 380 metres, with service to Scott Road Station and Newton Exchange. Gateway SkyTrain Station is approximately 770 metres away.
- A sidewalk is available on the north side of Grosvenor Road, but not the south side. An existing on-street bike route is located on Bentley Road. Grosvenor Road is designated for protected bike lanes in the City Centre Bike Route Plan, with planned connections throughout the neighbourhood.
- The proposal did not meet the Surrey Design Criteria Manual's threshold of 100 peak hour trips for require a Transportation Impact Analysis (TIA).

- The applicant is proposing to provide the following number of vehicle and bicycle parking spaces:

	Required	Proposed
Number of Stalls		
Residential:	n/a	227
Residential Visitor:	n/a	26
Total:	5	253
Accessible:	5	6
Bicycle Spaces		
Residential Secure Parking:	100	111
Residential Visitor:	12	12

- The subject site is located within Service Area B, as defined in the “City Centre District Energy System Bylaw”. All new developments within Service Area B with a build-out density equal to or greater than a floor area ratio of 1.0 will be required to provide hydronic thermal energy systems in support of the District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City’s DE system prior to occupancy.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the “City Centre District Energy System Bylaw”.

Tree Considerations

- The applicant has submitted an arborist report, which identifies onsite, off-site, and City tree species. A summary of the proposed tree retention, removal, and proposed replacement is found in Appendix F.
- There are 37 trees on the subject property/site, 36 of which are proposed to be removed. The applicant is required to plant replacement trees and/or provide cash-in-lieu of replacement trees to the Green City Program in accordance with Surrey Tree Protection Bylaw, No. 16100, as amended.
- The City has reviewed the arborist report and supports the Arborist’s findings.
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

School Capacity Considerations

- The School District has advised that there will be approximately 37 school-age children generated by this development. The School District has provided the following expected student enrollment (Appendix G):
 - 21 Elementary students at Forsyth Road Elementary School; and

- 10 Secondary students at Kwantlen Park Secondary School.
- The number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.
- The Ministry of Education and Child Care have approved and funded additions to both of the schools, although their capacity will continue to become stressed with increasing population growth in the neighbourhood.

Surrey Fire Considerations

- The Surrey Fire Department has no concerns with the proposed development, however, there are some standard requirements to be addressed as part of the subsequent Building Permit application.

Form and Character Development Permit Considerations

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The applicant has worked with staff to preserve the character-defining elements of the McCurdy residence, and provide a complementary architectural expression for the new apartment buildings.
- The heritage building is proposed to be relocated from its current position near the middle of the property at 13761 Grosvenor Road further towards the street, at the south-east corner of the development site. The new apartment buildings are also oriented to Grosvenor Road and Kalmar Road, respectively, with an enhanced side-yard setback along the west side yard, and a larger amenity courtyard facing east. The two buildings are conjoined in the middle but separated by a firewall; they are not internally connected except at the underground (P1) level.
- The site grading presents some challenges for massing, accessibility and functionality. The buildings are stepped with the grade, such that the north building (Building 1) is nearly a full storey lower than the south building (Building 2). Internal stairs and elevators, and external steps/ramps, provide circulation and access to common amenity spaces.
- Two publicly-accessible open spaces are provided at the entrances of each building, including seating, bicycle parking and enhanced paving.
- The Dutch Colonial Revival style of the heritage building will be preserved and restored. The new apartment buildings feature a contemporary architectural style using rectilinear geometries and volumes composed to respond to the smaller scale heritage building. Portions of the uppermost storey of the building step back on the same street frontage as the heritage building to further taper the massing fit. Its architectural details derive key datums from the heritage building. The material palette is inspired by the heritage building while interpreted for the contemporary architecture, using brick, cementitious horizontal siding and cementitious panels in brown, grey and white to complement the heritage building.

- Both street frontages are activated by a series of ground-oriented residential units with a double storey aesthetic and with private patios, trees, and pathways leading to the streets.

Indoor & Outdoor Amenity

- The proposal features gymnasias and family/multi-purpose rooms at grade (in each building) and smaller media, working, recreation and reading rooms (in Building 2 only). The heritage building would be rehabilitated as a multi-purpose amenity space as well.
- The outdoor amenity program includes a large central courtyard with play equipment; a smaller courtyard behind the heritage building containing seating and trees; and two smaller courtyards beside the west side yard and containing lounge seating and gardening planters. Building 2 also has a large rooftop deck with seating, dining and open multi-use spaces.
- All of the indoor and outdoor amenity spaces are intended to be shared by the residents of each building.
- The applicant has indicated that they may consider a subdivision of the two buildings in the future (strata or air space parcel). Amenity requirements for each phase/parcel and provisions for cross-access will be assessed when such application is received.

Advisory Design Panel

- For multi-family proposals that are six storey or less and supported by City staff, consideration by the City's Advisory Design Panel (ADP) may be waived. The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning Bylaw and issuance of the Development Permit.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Continue to refine the site grading, where possible, to improve access and accessibility to/from the amenity areas (including the heritage building) for the residents of both buildings;
 - Continue to refine the apartment buildings' architectural expression, especially at the Grosvenor Road elevation, to better transition the perceived massing relative to the heritage building and adjacent properties to the west; and
 - Resolve the grading and landscape design at the north property line, to ensure an accessible, continuous on-site sidewalk across the Kalmar Road frontage.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

Heritage Revitalization Agreement

- The applicant proposes an HRA to protect, relocate and restore the McCurdy Residence, which is currently located on the parcel at 13761 Grosvenor Road (Appendix B). The building is listed on the City's Community Heritage Register and is characterized by its distinctive Dutch Colonial Revival architecture, its association with interwar development patterns in Surrey's City Centre, and its association with its original owners, the McCurdy family.
- The proposed HRA includes an Agreement between the property owner and the City to establish obligations for long-term preservation and conservation of the building (including collection of financial security), a Conservation Plan prepared by a qualified heritage professional, and architectural and site plan drawings.
- The draft HRA was reviewed at the Surrey Heritage Advisory Commission meeting of January 14, 2026. The Commission supported the HRA to proceed for Council consideration (Appendix H).

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on December 18, 2025, and the development proposal signs were installed on December 18, as well. Staff did not receive any responses from neighbouring residents or businesses.
- The subject development application was reviewed by the Bolivar Heights Community Association. The Community Association did not provide any feedback.

COMMUNITY AMENITY CONTRIBUTIONS

- The proposed development is subject to the following Community Amenity Contributions. All rates are current as of this date and are subject to change:

Contribution Type	Current Rate
Capital Projects Contributions (Tier 1 CAC)	\$2,227.85 per unit
Community Specific Capital Projects Contributions (Tier 2 CAC)	\$239.82 per sq. m.
Affordable Housing Contribution	\$1,113.92 per unit
Secondary Plan & Infill Area Contributions	\$1,670.85 per micro-suite/studio unit \$1,938.84 per 1-bedroom unit \$2,220.52 per unit with ≥ 2 bedrooms Plus \$22.11 per sq. m of buildable area

CONCLUSION

In summary, the low-rise apartment and heritage conservation proposal demonstrates sound planning principles and aligns with the objectives of the Official Community Plan and City Centre Plan. Staff recommend approval based on the analysis and considerations outlined in this report.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix A: Secondary Land Use Plan Amendment Map
- Appendix B: Heritage Revitalization Agreement
- Appendix C: Site Plan, Building Elevations, Perspective and Landscape Plans
- Appendix D: Engineering Summary
- Appendix E: Block Plan
- Appendix F: Summary of Tree Preservation, Removal and Replacement
- Appendix G: School District Comments
- Appendix H: Heritage Advisory Commission Minutes

approved by Shawn Low

Ron Gill
General Manager
Planning and Development

KT/ar

City Centre Plan Addendum

Updated Land Use Map

LEGEND

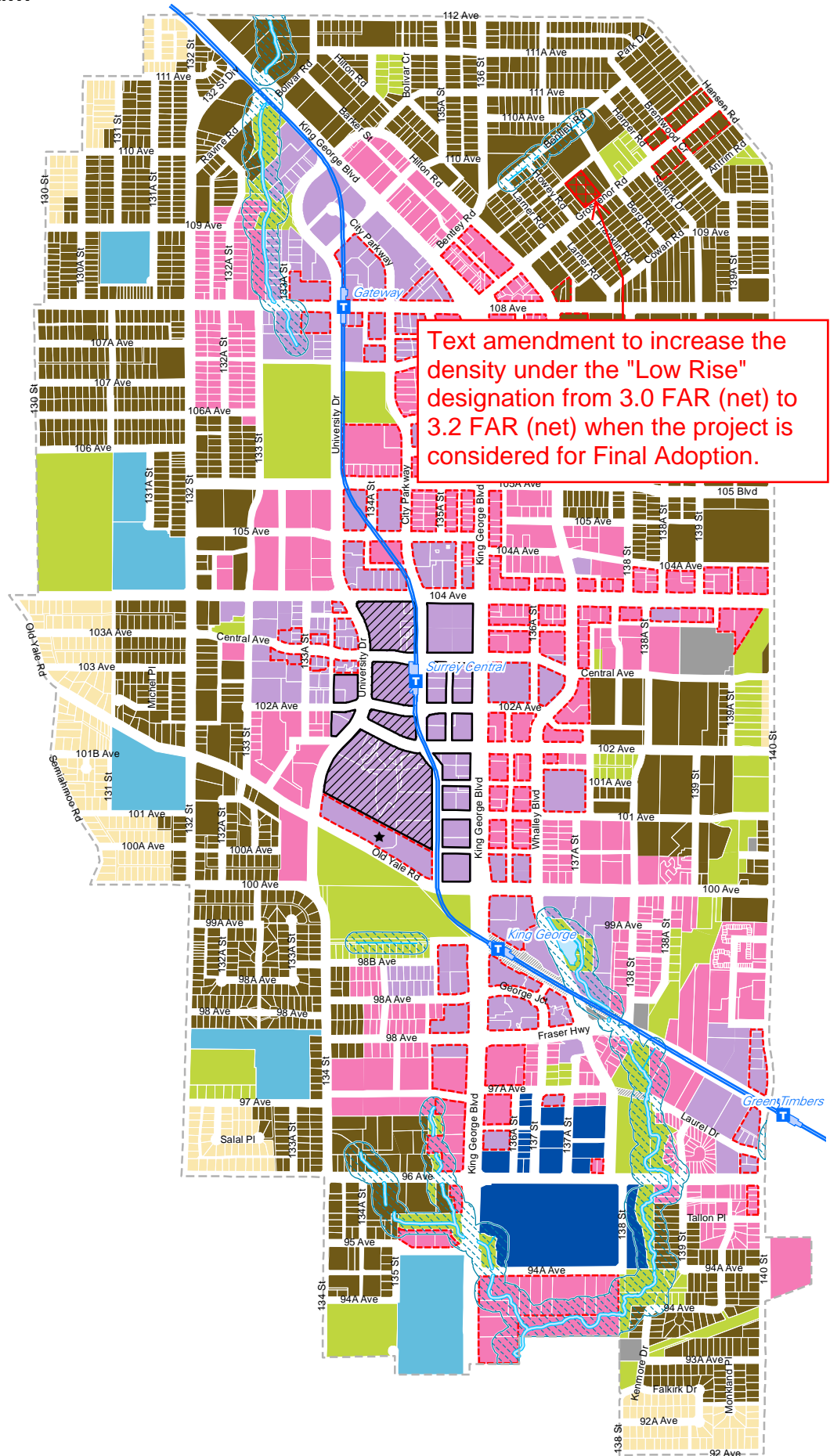
Land Uses

- Urban Residential
- Low Rise
- Mid Rise
- High Rise
- Employment
- School
- Park
- Utilities

Overlays

- Commercial
- Central Business District 1
- Central Business District 2

- SkyTrain
- T SkyTrain Station
- Creek
- Ditch
- Water Body
- Review Buffer
- Plan Boundary



Text amendment to increase the density under the "Low Rise" designation from 3.0 FAR (net) to 3.2 FAR (net) when the project is considered for Final Adoption.

Development Parameters

Land use designations identify the general form and density of development. Densities apply on a gross site basis, except as per the Transit-Oriented Areas (TOA) provisions of the Official Community Plan.

Designation	Intent	Base Density
<i>Urban Residential</i>	Single-detached homes, duplexes, houseplexes, row houses, townhouses, and stacked townhouses (and accessory dwellings depending on the zone).	Up to 1.0 FAR depending on the zone
<i>Low Rise</i>	Buildings generally up to six storeys (up to eight storeys in a TOA). Primarily residential. Ground floor commercial uses are optional except in the <i>Commercial</i> overlay.	2.5 FAR (or 3.0 FAR within Tier 3 of a TOA)
<i>Mid Rise</i>	Towers generally up to 20 storeys, with minimum two-storey podiums. Primarily residential. Lower level commercial uses are optional except in the <i>Commercial</i> overlay.	3.5 FAR (or 4.0 FAR within Tier 2 of a TOA)
<i>High Rise</i>	Towers generally over 20 storeys, with minimum four-storey podiums. May be predominantly residential except in the <i>Business District 1 (CBD1)</i> and <i>Central Business District</i> overlays. Lower level commercial uses are optional except in the <i>Commercial</i> , <i>CBD1</i> , and <i>CBD2</i> overlays.	5.5 FAR except in <i>District 1</i>
<i>Employment</i>	High density office, institutional and/or commercial uses. Institutional residential uses also permitted.	
<i>School</i>	Standalone public elementary and secondary schools. Independent schools and public schools within mixed-use developments may occur in other designations.	Not applicable
<i>Park</i>	Public parks. Additional parkland dedicated to the City through a development application may occur in other designations.	Not applicable
<i>Utilities</i>	Standalone utility infrastructure not located within road allowance.	Not applicable
Overlay	Intent	Base Density
<i>Commercial</i>	Ground floor commercial uses are mandatory. Standalone commercial or institutional buildings may also be considered.	Not applicable
<i>Central Business District Area 1</i>	Mixed-use development providing significant employment space. For multi-building developments, employment space may be consolidated within a standalone non-residential building.	7.5 FAR ¹ including: - 3.5 FAR non-residential - 4.0 FAR residential
<i>Central Business District Area 2</i>	Mixed-use development providing significant employment space. For multi-building developments, employment space may be consolidated within a standalone non-residential building.	7.5 FAR ² including: - 2.0 FAR non-residential - 5.5 FAR residential

Text amendment to increase the density under the "Low Rise" designation from 3.0 FAR (net) to 3.2 FAR (net) when the project is considered for Final Adoption.

¹ Within the Central Business District Area 1, the non-residential base density may be reduced to 3.0 FAR and the residential base density increased to 4.5 FAR, if the non-residential floor space is delivered in a standalone building of at least 200,000 square feet and 15 storeys.

² Within the Central Business District Area 2, the non-residential base density may be reduced to 1.5 FAR and the residential base density increased to 6.0 FAR, if the non-residential floor space is delivered in a standalone building of at least 100,000 square feet and 10 storeys.

CITY OF SURREY

BYLAW NO.

A bylaw to enter into a heritage revitalization agreement

.....

WHEREAS:

- A. The Council may by bylaw pursuant to Part 15 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as may be amended from time to time, enter into a heritage revitalization agreement with the owner of heritage property;

- B. The Council considers that certain lands, premises, and improvements have *heritage value* and *heritage character* and ought to be conserved, which are situate within the City and described as:

Parcel Identifier: 001-761-099

LOT 1 EXCEPT: THE EASTERLY 60 FEET THEREOF SAID EASTERLY 60 FEET HAVING A FRONTAGE OF 60 FEET ON GROSVENOR ROAD WITH A UNIFORM WIDTH THE FULL DEPTH OF SAID LOT 1 AND ADJOINING LOT 6 PLAN 5392; SECTION 14 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 12075

13761 Grosvenor Road

And as the legal description noted above is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(the "Lands");

- C. The owner of the Lands and the City of Surrey have agreed on the nature, character and extent of the *heritage value* and *heritage character* of the Lands and on the nature, extent and form of conservation necessary to protect the *heritage value* and *heritage character* of the Lands;

NOW THEREFORE, the City Council of the City of Surrey, in open meeting assembled, enacts as follows:

- 1. The City is authorized hereby to enter into that certain Heritage Revitalization Agreement appended to this Bylaw as Schedule "I" (the "Heritage Revitalization Agreement") in respect of the Lands.
- 2. The Mayor and the City Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement and to register a notice on the title of the Lands.
- 3. Schedule "I" forms a part of this Bylaw.
- 4. This Bylaw may be cited for all purposes as "City of Surrey Heritage Revitalization Agreement Bylaw, 20 , No._____."

READ A FIRST AND SECOND TIME on the ____ day of ____ 20 .

READ A THIRD TIME on the ____ day of ____ 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the ____ day of ____ 20 .

_____ MAYOR

_____ CLERK

SCHEDULE "I"

[To City of Surrey Heritage Revitalization Agreement Bylaw, 20 , No. _____]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the ___ day of _____, 20

BETWEEN:

1500690 B.C. LTD., INC.NO. BC1500690
#300, 15127 100th Avenue
Surrey, BC, V3R 0N9

(the "Owner")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 13450 - 104 Avenue
Surrey, BC, V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 001-761-099

LOT 1 EXCEPT: THE EASTERLY 60 FEET THEREOF SAID EASTERLY 60 FEET HAVING A FRONTAGE OF 60 FEET ON GROSVENOR ROAD WITH A UNIFORM WIDTH THE FULL DEPTH OF SAID LOT 1 AND ADJOINING LOT 6 PLAN 5392; SECTION 14 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 12075

13761 Grosvenor Road

And as the legal description noted above is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;
- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "Cummer Heritage Consulting Plan"); and
- G. The improvements or features identified in the Conservation Plan as the McCurdy Residence (the "House") is listed on the Surrey Heritage Register and the Owner and the City consider that the House has *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the House.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

- 1. (a) The Conservation Plan and the Cummer Heritage Consulting Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or Cummer Heritage Consulting Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and Cummer Heritage Consulting Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.

- (b) Part I of the Conservation Plan and the Cummer Heritage Consulting Plan identify, detail and describe the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character* including, but not limited to: form, scale and massing, one and one-half storey height, gambrel roof structure, central front entryway accessed by a flight of steps with the main floor set half-storey above grade, wood frame construction, wood siding and fascia, fenestration including single and double assembly wood windows, Dutch Colonial Revival design features, and exterior masonry chimney. Part II of the Conservation Plan and the Cummer Heritage Consulting Plan set out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan and the Cummer Heritage Consulting Plan set out the standards and specifications for restoration, rehabilitation, replication, repair, replacement, or maintenance to be undertaken and completed pursuant to this Agreement. Additional standards and specifications not identified in Part III of the Conservation Plan, or in the Cummer Heritage Consulting Plan, may be required as identified by the heritage professional or the City, or as pursuant to the Heritage Property Standards of Maintenance Bylaw, 2017, No. 18931 and are to be completed in accordance with the timing provisions of this Agreement or as otherwise directed by the City.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
- (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
- (b) Each action of restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the Cummer Heritage Consulting Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan and the Cummer Heritage Consulting Plan.
- (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards as set out in the Heritage Property Standards of Maintenance Bylaw, 2017, No. 18931, and in accordance with the guidelines and requirements set out in the Conservation Plan and Cummer Heritage Consulting Plan.

- (d) In the event the House is damaged, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the House to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the House shall reflect the character-defining elements and design components including, but not limited to: form, scale and massing, one and one-half storey height, gambrel roof structure, central front entryway accessed by a flight of steps with the main floor set half-storey above grade, wood frame construction, wood siding and fascia, fenestration including single and double assembly wood windows, Dutch Colonial Revival design features, and exterior masonry chimney all as subject to approval by the City Architect or designate.
- (e) In the event the House is destroyed, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the House. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the House shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.
- (f) In the event that the House is destroyed, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$149,574.30 indexed to the Vancouver Consumer Price Index (CPI) with 2024 being the base year, except that if the House is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the House become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the House and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the House, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the House, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the House become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

PROTECTED HERITAGE SITE

No Vandalism or Removal of Materials

(Maximum individual penalty: \$50,000 and 2 years Imprisonment)

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the House is occupied, there must be appropriate security measures in place to maintain the integrity and security of the House and Lands. Should the House become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation Plan and in the Cummer Heritage Consulting Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.
- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the heritage alteration permit, the Conservation Plan and the Cummer Heritage Consulting Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").
- (m) The Owner acknowledges and agrees that the City may install and display a commemorative heritage plaque or marker (the "Plaque") in connection with the heritage status of the Lands and the Owner hereby consents to any such installation and display. The content, appearance, and any other characteristics of the Plaque will be determined by the City, in the City's sole discretion. The Owner acknowledges and agrees that the City may require the Owner to attend to the installation of the Plaque in which case the Owner acknowledges and agrees to attend to the installation as soon as reasonably possible following receipt of the Plaque from the City.

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan and the Cummer Heritage Consulting Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or

features, all such work shall be done at the Owner's sole expense strictly in accordance with the heritage alteration permit, if any, the Conservation Plan and the Cummer Heritage Consulting Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the Cummer Heritage Consulting Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive bylaw enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including bylaws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk
CITY OF SURREY
13450 - 104 Avenue
Surrey, BC, V3T 1V8

If to the Owner:

1500690 B.C. LTD., INC.NO. BC1500690
#300, 15127 100th Avenue
Surrey, BC, V3R 0N9

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan or the Cummer Heritage Consulting Plan or any determination pursuant to Section 1(a) of this Agreement, may require that the matter be decided and determined by binding arbitration as follows:
- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
 - (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;
 - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;
 - (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive, and binding on all parties;
 - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
 - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

- 19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

- 20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

- 21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

- 22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

1500690 B.C. LTD., INC.NO. BC1500690

Per: _____
Authorized Signatory

CITY OF SURREY

By: _____
Authorized Signatory

Brenda Locke,
Mayor, City of Surrey

By: _____
Authorized Signatory

Jennifer Ficocelli,
City Clerk and Director Legislative Services
City of Surrey

Appendix "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. Description of Historic Place

The McCurdy Residence is a one and one-half storey house located midblock on the north side of Grosvenor Road, between Howey and Harper Roads, in the City Centre community of Surrey. The House is characterized by its Dutch Colonial Revival architecture, expressed by its gambrel roof structure with large shed-roof dormer and exterior masonry chimney.

2. Heritage Value of Historic Place

The McCurdy Residence is valued as part of the interwar development of Surrey's City Centre community, just prior to the Second World War, as constructed for Henry George and Sadie McCurdy, and for its Dutch Colonial Revival architecture.

The City Centre area of Surrey is located on the traditional, unceded territory of the Katzie, Kwantlen, and Semiahmoo people. These Indigenous communities have maintained profound and ongoing relationships with the land, extending back long before the arrival of settlers. Colonial expansion into the area now known as Surrey City Centre began as early as the 1880s. During this time, the area was a rural hub defined by farming and logging, industries essential to the settler economy. For decades, the area remained sparsely populated, until the 1930s ushered in a pivotal but difficult era for the region. The Great Depression profoundly impacted British Columbia, leaving communities across the Lower Mainland, including Surrey, struggling with widespread unemployment and financial hardship. Many infrastructure projects were stalled during this time, however, the construction of the Pattullo Bridge, which opened in 1937, became a signal of progress as it provided an essential connection between New Westminster and Surrey. Though the economy was still fragile, the bridge gave rise to more accessible transportation, which encouraged gradual settlement in North Surrey, including along Grosvenor Road, which stretched between the small locales of Port Mann and Whalley's Corner. For some families, relocating to the area offered the chance to start anew, often through subsistence farming or small-scale enterprises. It was in 1938, during this period of tenuous growth, that the McCurdy family had this residence constructed.

The McCurdy Residence is also valued for its association with its original owners and occupants, the McCurdy family. Originally from New Brunswick, Henry G. McCurdy (1900-1949) moved west, living first in Hanna, Alberta, before arriving in British Columbia in the late 1920s. Henry and Irish-born Sarah J. (née Scott; 1893-1974) were married in Vancouver in 1929, and in 1937, the McCurdys purchased this property, originally 2 acres in size, which would soon feature their family home. The McCurdy family raised Toggenburg goats and geese, and during the Second World War, Henry served as a pilot in the Royal Canadian Air Force. His service inspired his own daughter, Colleen (born c.1932), to become a pilot, and she served with the Royal Canadian Air Force and NATO during the Korean War and was stationed in France during that time. Sarah sold this property in 1950 following the passing of her husband, and it was first subdivided the following year in 1951.

The McCurdy Residence is additionally valued for its Dutch Colonial Revival architecture. The style was popularized by early Dutch settlers in New York and New Jersey, who

developed the distinctive housing form. The style was revived in the late 1800s in the United States where it later spread north to Canada. The main distinguishing feature of the Dutch Colonial Revival style is its gambrel roof with wide shed dormers at the front and rear. Additionally, these typically feature a central entry on the long side, regular fenestration, external chimneys, and white-painted wooden siding, many of which are featured on the McCurdy Residence. The House is an excellent and rare example of the Dutch Colonial Revival style of architecture in Surrey.

3. Character Defining Elements

Key elements that define the heritage character of the McCurdy Residence include its:

- location along Grosvenor Road in North Surrey's City Centre neighbourhood;
- significant setback from the road;
- residential form, scale and massing as expressed by its one and one-half storey height, rectangular plan, gambrel roof structure; short, one-storey extension off the rear elevation; and central front entryway accessed by a flight of steps, with the main floor set a half-storey above grade;
- wood frame construction, including horizontal wood siding; wood fascia; and concrete foundation;
- fenestration including single and double assembly wood windows featuring: fixed and hung sashes, and segmental arch shaped lights in upper and fixed wood sashes; and front door assembly with decorative wood surround featuring a segmental arch opening, sidelights, fluted wood flat pilasters, and wood entablature;
- Dutch Colonial Revival design features, including its symmetrical design; gambrel roof with returned eaves; and wide shed dormers at the front and rear; and
- exterior masonry chimney on the side elevation, and central internal masonry chimney.

PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

1. General

A. Requirement to Commence Renovations

The restoration of the House, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the adoption of a bylaw to enter into this Agreement.

B. Maintenance Strategy

The strategy to ensure ongoing conservation of the House shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather, and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a bylaw authorizing the City to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the House shall include, but is not limited to, the following:

- (a) A description and a time schedule for the renovations, repair, and replacement of the exterior elements, *landscaping* or other identified works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;
- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the House;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

2. Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the House.

3. Timing and Phasing

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the House shall commence within 60 days following the adoption of a bylaw to enter into this Agreement and be carried out pursuant to a building permit issued by the City authorizing the works. The Owner shall insure that the restoration of the House shall be completed and a final occupancy permit or equivalent for the House shall be issued within two years of the adoption of a bylaw to enter into this Agreement.

4. Heritage Alteration Permit(s) Approval

- A. Changes to the building, structure, exterior appearance of the House, features on the Lands identified in the Conservation Plan, the Cummer Heritage Consulting Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning and Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:
- (a) changes to the Conservation Plan or the Cummer Heritage Consulting Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the House;
 - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or
 - (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the House.
- C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:
- (a) changes to the House structure;
 - (b) changes to the exterior appearance of the House;
 - (c) replacement of existing elements and/or construction of additions to the House;
 - (d) changes to the external appearance of the House due to interior renovations.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. **Building Permit Approval**

Construction, alterations, or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, the Cummer Heritage Consulting Plan, and with heritage alteration permits sanctioning construction, alterations or other actions.

As the House is recognized as a historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

6. **Conditions**

- A. The works specified in Part III and attachments to this Conservation Plan and the Cummer Heritage Consulting Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan and the Cummer Heritage Consulting Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

1. **Structure:**

See Section 6.1 "Structure" of the Cummer Heritage Consulting Plan.

2. **Roofing and Drainage:**

See Section 6.2 "Roofing and Drainage" of the Cummer Heritage Consulting Plan.

3. **Chimney:**

See Section 6.3 "Chimney" of the Cummer Heritage Consulting Plan.

4. **Wood Elements:**

See Section 6.4 "Wood Elements" of the Cummer Heritage Consulting Plan.

5. **Cladding:**

See Section 6.5 "Cladding" of the Cummer Heritage Consulting Plan.

6. Windows and Doors:

See Section 6.6 "Windows and Doors" of the Cummer Heritage Consulting Plan.

7. Landscaping:

See Section 6.7 "Landscaping" of the Cummer Heritage Consulting Plan.

8. Colour Schedule

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the House is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the House or heritage colours appropriate for the period of the House.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

9. Accessory Buildings and Structures:

No placement of accessory buildings or structures shall be permitted within 3 metres of the House without first obtaining a heritage alteration permit.

10. Trees and Landscaping:

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100 (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

11. Plans and Elevations:

The plans and elevations attached as Appendix "A-1" form part of this Heritage Conservation Plan.

These attachments depict the above described and additional details regarding the standards and specifications for restoration, rehabilitation, replication, repair, replacement or maintenance to be undertaken and completed pursuant to this Conservation Plan.

12. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

Appendix "A-1"

PLANS AND ELEVATIONS

(Attachment beginning on the next page)

APARTMENT DEVELOPMENT AT 13753, 13761 GROSVENOR ROAD, SURREY, B.C

Appendix B



SCHEMATIC FRONT ELEVATION OF THE PROPOSED RELOCATED HERITAGE HOUSE

SHEET LIST

A000	COVER SHEET
A001	DATA SHEET
A100	OVERALL SITE PLAN
A101	FLOOR PLANS EXISTING
A102	FLOOR PLANS EXISTING
A103	ELEVATIONS EXISTING
A104	ELEVATIONS EXISTING
A105	SECTION EXISTING
A106	EXISTING HERITAGE HOUSE IMAGES
A201	FLOOR PLANS PROPOSED
A202	FLOOR PLANS PROPOSED
A203	ELEVATIONS PROPOSED
A204	ELEVATIONS PROPOSED
A205	SECTION PROPOSED
A300	SCHEMATIC VIEWS
A301	SCHEMATIC VIEW
A302	SCHEMATIC VIEW
A303	SCHEMATIC VIEW

HERITAGE BUILDING - PROPOSED INDOOR AMENITY (7925-0164-00)

ARCHITECT FLAT ARCHITECTURE INC. 209- 6321 KING GEORGE BLVD., SURREY, BC. CONTACT: RAJINDER WARRAICH EMAIL: rajinder@flatarchitecture.ca PH: (604) 503 4484	HERITAGE CONSULTANT CUMMER HERITAGE CONSULTING CONTACT: KATIE CUMMER EMAIL: kcummer@gmail.com PH: (778) 678 1913			
--	---	--	--	--



Unit 209- 6321 King George Blvd,
 Surrey BC, V3X 1G1
 www.flatarchitecture.ca
 contact@flatarchitecture.ca
 Ph: 604-503-4484



PROJECT NAME:
 HERITAGE HOUSE
PROJECT ADDRESS:
 APARTMENT DEVELOPMENT AT 13753,
 13761 GROSVENOR ROAD, SURREY, B.C
CLIENT:
 GENARIS PROPERTIES

DATE:
 06/03/2025
PROJECT NO.:
 24-212
SCALE:
 1/8" = 1'-0"
DRAWN BY:
 A.R.C.
CHECKED BY:
 R.W.

NO.	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2025
4	Heritage House Revised DP	03.02.2025
3	Heritage House Revised DP	12.01.2025
2	Heritage House Revised DP	18.12.2025
1	Heritage House DP	04.12.2025
	REV	DESCRIPTION

COVER SHEET

A000

2025.06.03.09.01.01

Appendix B

EXISTING HERITAGE BUILDING		
LEVEL	AREA (sq.ft.)	AREA (sq.m.)
LEVEL 1	1,493.94 sq.ft.	138.79 sq.m.
LEVEL 2	1,491.91 sq.ft.	138.60 sq.m.
LEVEL 3	805.43 sq.ft.	74.83 sq.m.
LEVEL 4	452.62 sq.ft.	42.05 sq.m.
TOTAL	4,243.90 sq.ft.	394.27 sq.m.

HERITAGE BUILDING - PROPOSED INDOOR AMENITY		
LEVEL	AREA (sq.ft.)	AREA (sq.m.)
LEVEL 1		
LEVEL 2	921.69 sq.ft.	85.63 sq.m.
LEVEL 3	805.43 sq.ft.	74.83 sq.m.
LEVEL 4	452.62 sq.ft.	42.05 sq.m.
TOTAL	2,179.74 sq.ft.	202.50 sq.m.



FLAT ARCHITECTURE

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Ph: 604-503-4484



PROJECT NAME:
HERITAGE HOUSE
PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C
CLIENT:
GEMARIS PROPERTIES

DATE:
06/03/2018
PROJECT NO.:
54-212
SCALE: DRAWN BY:
A.R.C.
CHECKED BY:
R.W.

REV	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2018
4	Heritage House Revised DP	03.02.2018
3	Heritage House Revised DP	12.01.2018
2	Heritage House Revised DP	18.12.2015
1	Heritage House DP	04.12.2015

DATA SHEET

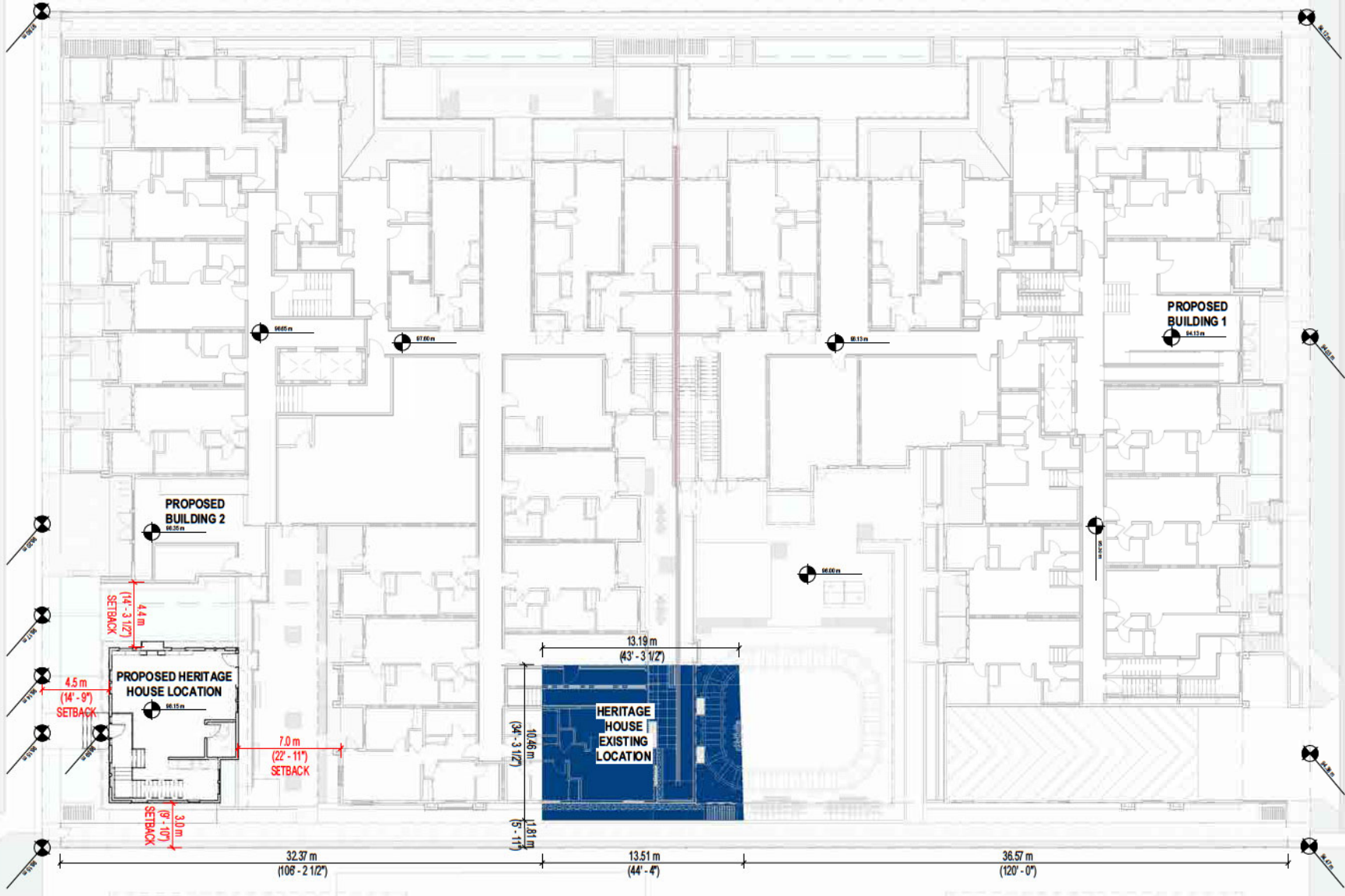
A001

2018.06.03.09.30.01.DWG

Appendix B

GROSVENOR ROAD

KALMAR ROAD



Unit 209-632 1 King George Blvd
Surrey BC, V3X 1G1
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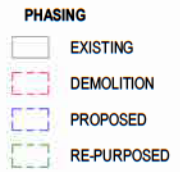
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HERITAGE HOUSE
PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C
CLIENT:
GEMARIS PROPERTIES

DATE:
06/02/2020
PROJECT NO.:
24-212
SCALE:
3/64" = 1'0"
DRAWN BY:
A.R.C.
CHECKED BY:
R.W.

NO.	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2020
4	Heritage House Revised DP	03.02.2020
3	Heritage House Revised DP	12.01.2020
2	Heritage House Revised DP	18.12.2020
1	Heritage House DP	04.12.2020
REV	REVISION	DATE

OVERALL SITE PLAN

Appendix B



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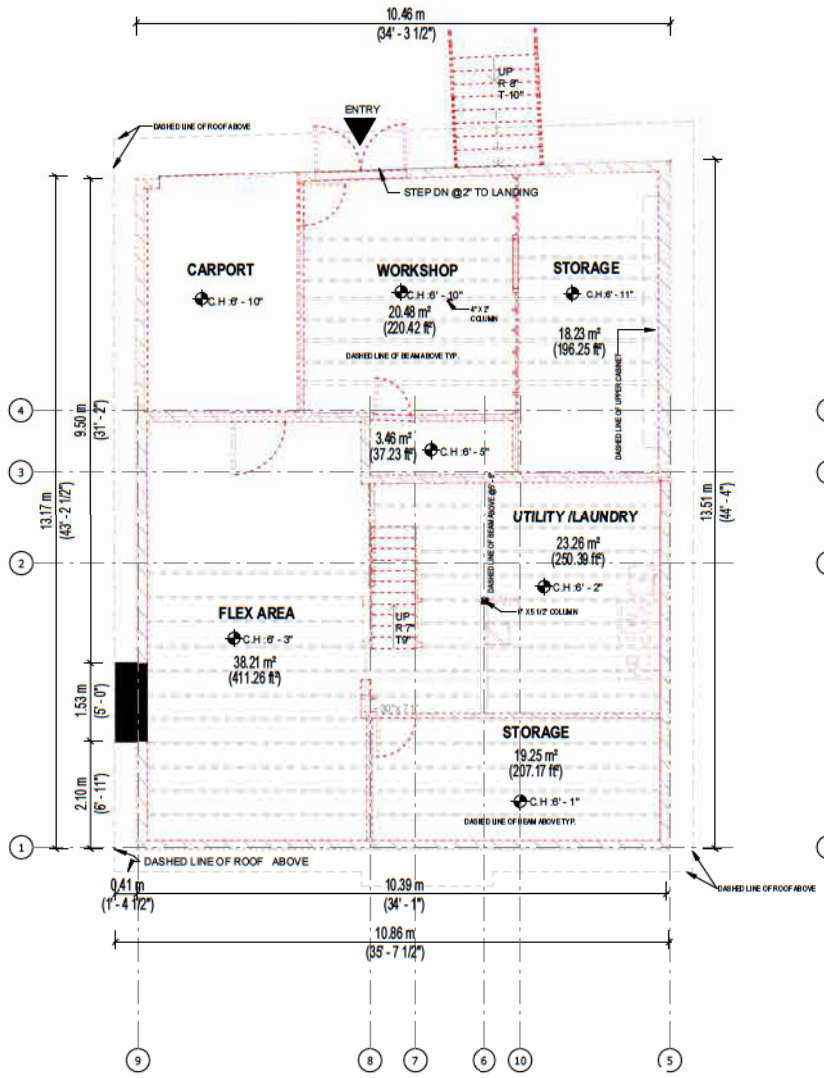
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PROJECT ADDRESS: APARTMENT DEVELOPMENT AT 13753, 13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT: GENARIS PROPERTIES

DATE: 06/02/2018
PROJECT NO.: 34212
SCALE: As Indicated
DRAWN BY: A.R.C.
CHECKED BY: R.W.

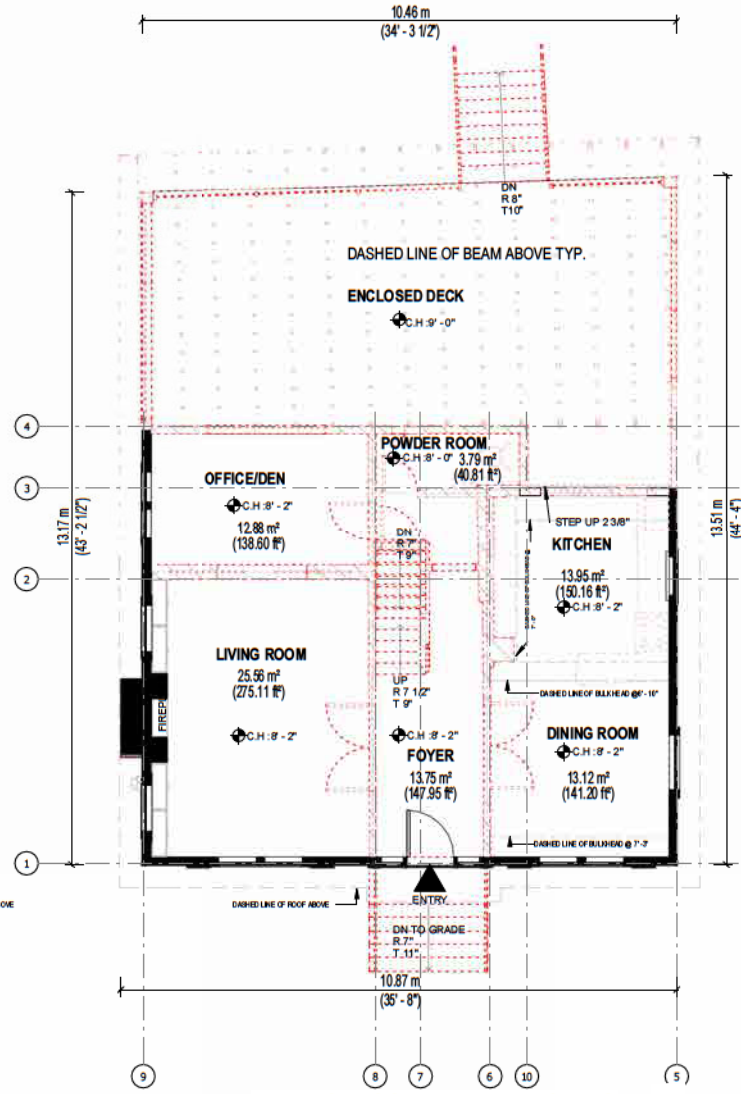
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5	06.02.2018	Heritage House Revised DP
4	03.02.2018	Heritage House Revised DP
3	12.01.2018	Heritage House Revised DP
2	18.12.2015	Heritage House Revised DP
1	04.12.2015	Heritage House DP

FLOOR PLANS EXISTING

A101

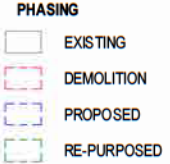


LEVEL 1 FLOOR PLAN - EXISTING **1**



LEVEL 2 FLOOR PLAN - EXISTING **2**

Appendix B



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PROJECT NAME:
HERITAGE HOUSE

PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C

CLIENT:
GENARIS PROPERTIES

DATE:
06/10/2018

PROJECT NO.:
34-212

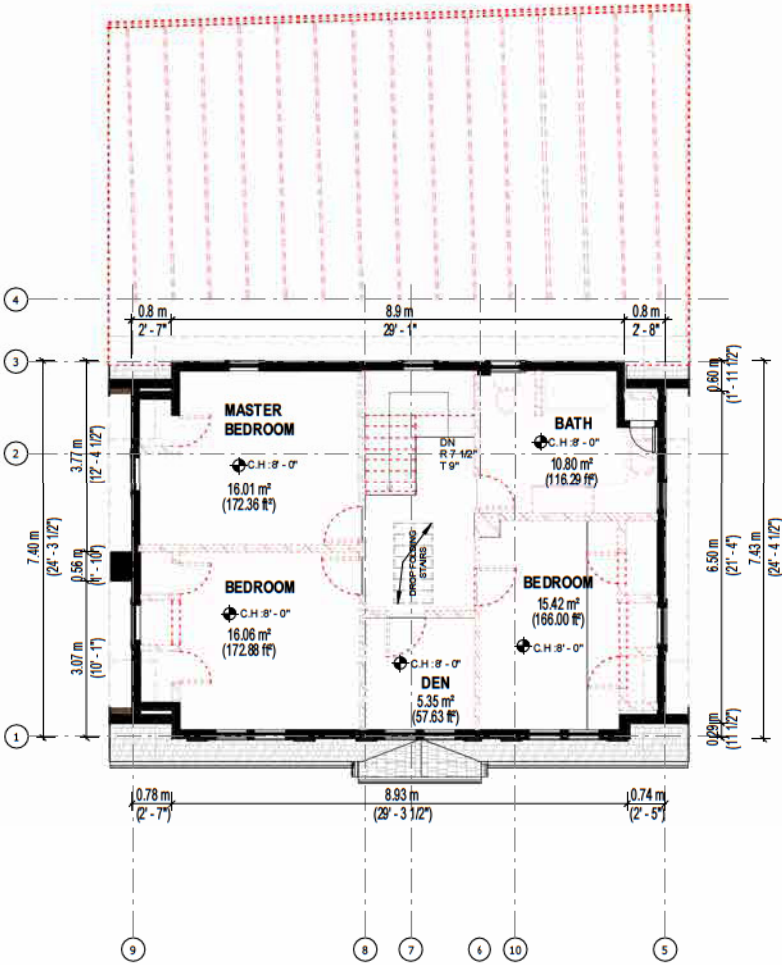
SCALE:
As Indicated

DRAWN BY:
A.R.C.

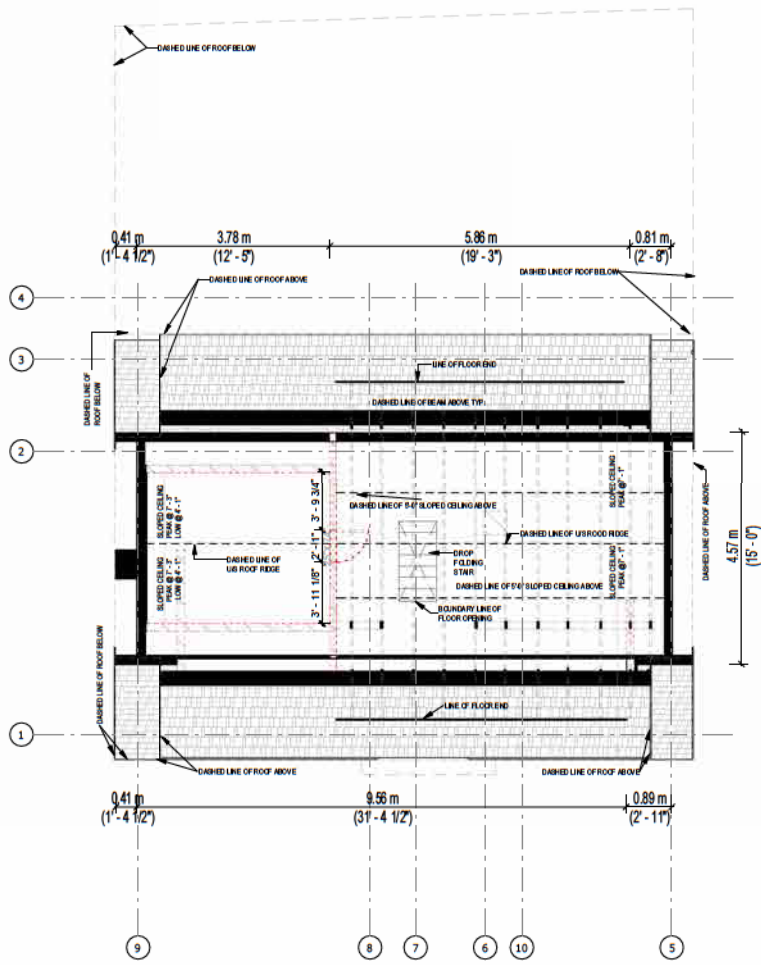
CHECKED BY:
R.W.

REV	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2018
4	Heritage House Revised DP	03.02.2018
3	Heritage House Revised DP	12.01.2018
2	Heritage House Revised DP	18.12.2015
1	Heritage House DP	04.12.2015

FLOOR PLANS EXISTING

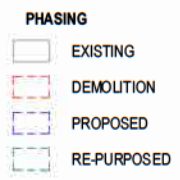


LEVEL 3 FLOOR PLAN - EXISTING **3**
1/8" = 1'-0"



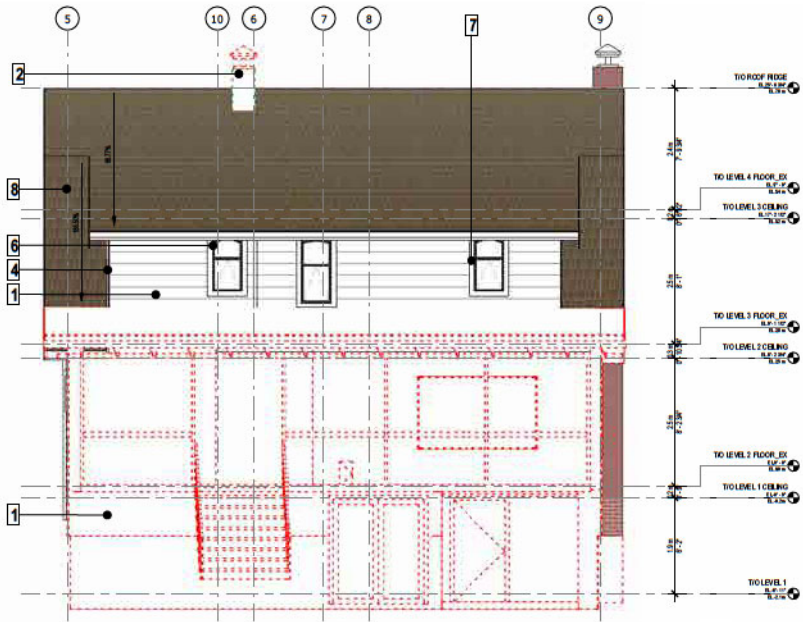
LEVEL 4 FLOOR PLAN - EXISTING **4**
1/8" = 1'-0"

Appendix B

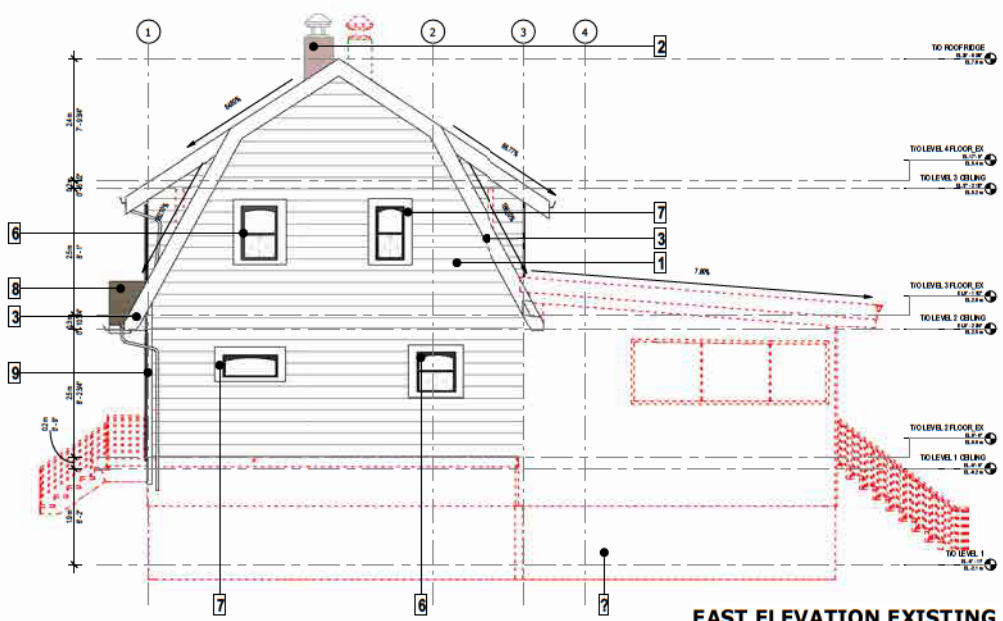


MATERIALS

- 1 Horizontal Siding; Finish: Wood; Colour: White
- 2 Brick Masonry; Colour: Red / White grout
- 3 Facia board; Finish: Wood; Colour: White
- 4 Concrete Walls
- 5 Shutters; Finish: Wood; Colour: Black
- 6 Window Frames and Sashes; Finish: Wood; Colour: Black
- 7 Window Trim; Finish: Wood; Colour: White
- 8 Roof; Asphalt Shingles; Colour: Light Grey-Brown
- 9 Corner Trims, Material: Wood; Colour: White
- 11 Paint; Colour: Mustard Yellow
- 12 Gutter; Material: Metal; Paint: White
- 13 Steps; Material: Wood; Colour: Painted Dark Grey



NORTH ELEVATION EXISTING
1/8" = 1'-0" **1**



EAST ELEVATION EXISTING
1/8" = 1'-0" **2**



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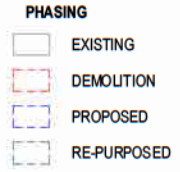
PROJECT NAME:
HERITAGE HOUSE
PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C
CLIENT:
CEMARIS PROPERTIES

DATE:
06/2020
PROJECT NO.:
24-212
SCALE:
As Indicated
DRAWN BY:
A.R.C
CHECKED BY:
R.W

REV	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2020
4	Heritage House Revised DP	03.02.2020
3	Heritage House Revised DP	12.01.2020
2	Heritage House Revised DP	18.12.2020
1	Heritage House DP	04.12.2020

ELEVATIONS EXISTING

Appendix B

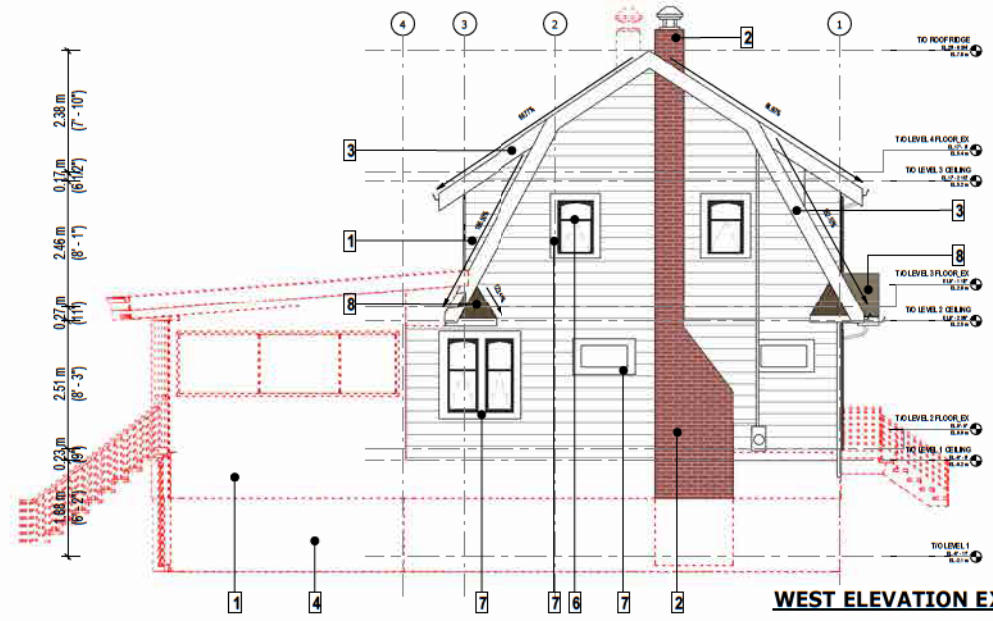


MATERIALS

- 1 Horizontal Siding; Finish: Wood; Colour: White
- 2 Brick Masonry; Colour: Red / White grout
- 3 Facia board; Finish: Wood; Colour: White
- 4 Concrete Walls
- 5 Shutters; Finish: Wood; Colour: Black
- 6 Window Frames and Sashes; Finish: Wood; Colour: Black
- 7 Window Trim; Finish: Wood; Colour: White
- 8 Roof; Asphalt Shingles; Colour: Light Grey-Brown
- 9 Corner Trims; Material: Wood; Colour: White
- 11 Paint; Colour: Mustard Yellow
- 12 Gutter; Material: Metal; Paint: White
- 13 Steps; Material: Wood; Colour: Painted Dark Grey



SOUTH ELEVATION EXISTING **3**
1/8" = 1'-0"



WEST ELEVATION EXISTING **4**
1/8" = 1'-0"

FLAT ARCHITECTURE
ONLINE

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PROJECT NAME:
HERITAGE HOUSE

PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C

CLIENT:
GEMARIS PROPERTIES

DATE:
06/2020

PROJECT NO.:
34-212

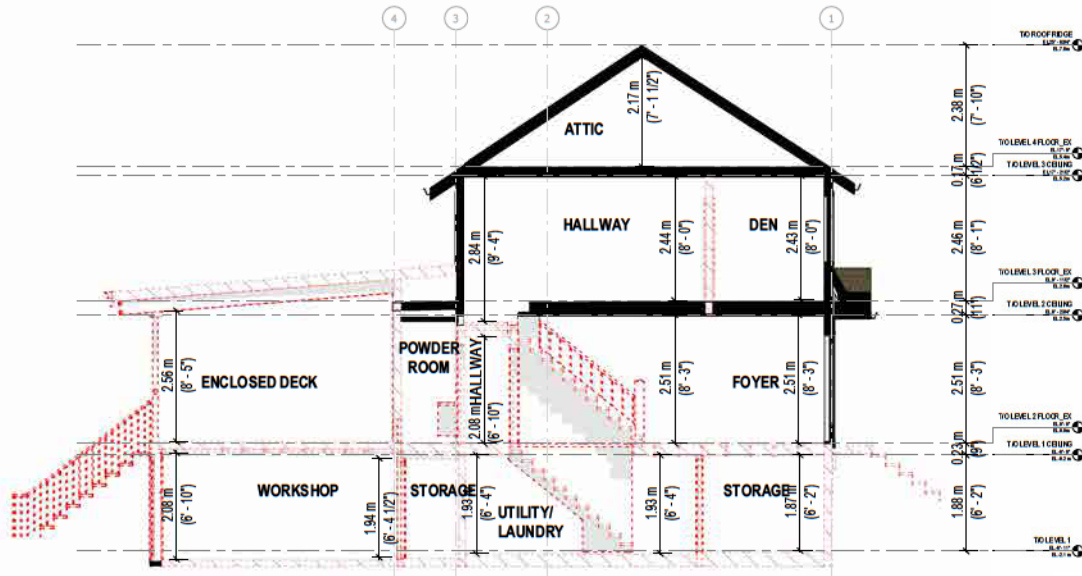
SCALE:
As Indicated

DRAWN BY:
A.R.C

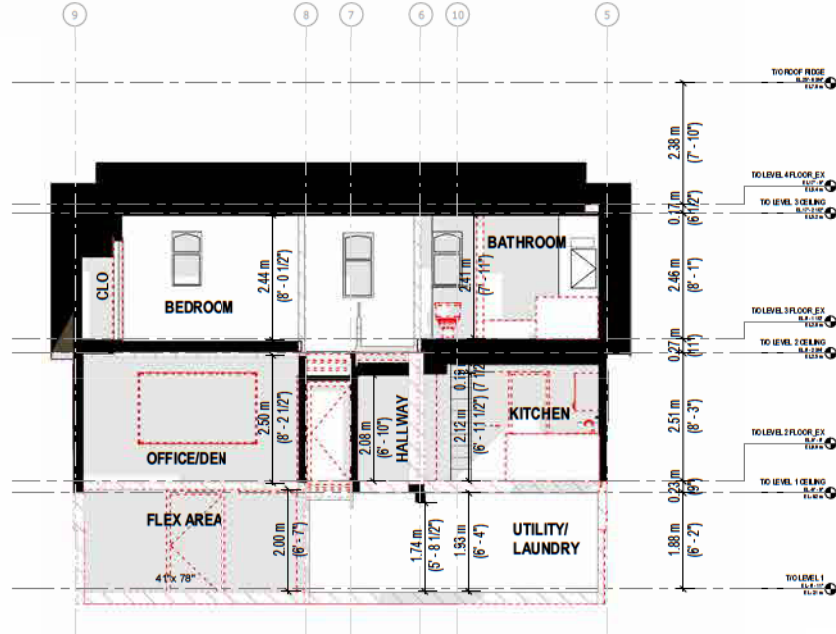
CHECKED BY:
R.W

REV	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2020
4	Heritage House Revised DP	03.02.2020
3	Heritage House Revised DP	12.01.2020
2	Heritage House Revised DP	18.12.2020
1	Heritage House DP	04.12.2020

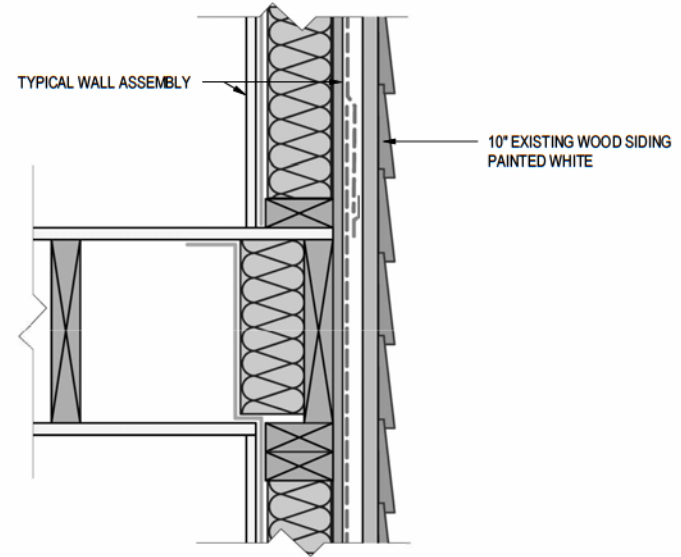
ELEVATIONS EXISTING



SECTION 1 EXISTING
1
1/8" = 1'-0"



SECTION 2 EXISTING
2
1/8" = 1'-0"



WOOD SIDING DETAIL
3
1 1/2" = 1'-0"

Appendix B



KEY PLAN - SECTION
1" = 160'-0"

- PHASING**
- EXISTING
 - DEMOLITION
 - PROPOSED
 - RE-PURPOSED



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Surrey BC, V3X 1G1
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PROJECT NAME:
HERITAGE HOUSE
PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT:
GEMARIS PROPERTIES

DATE:
06/2020
PROJECT NO.:
34-212
SCALE:
As Indicated
DRAWN BY:
ARC
CHECKED BY:
RW

REV	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2020
4	Heritage House Revised DP	03.02.2020
3	Heritage House Revised DP	12.01.2020
2	Heritage House Revised DP	18.12.2020
1	Heritage House DP	04.12.2020

SECTION EXISTING

A105

Appendix B



Unit 209-632 1 King George Blvd
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A. VIEW OF THE SOUTH ENTRANCE OF THE HERITAGE HOUSE



C. VIEW OF THE WESTERN SIDE OF THE HERITAGE HOUSE



B. VIEW OF THE NORTH REAR OF THE HERITAGE HOUSE



D. VIEW OF THE WESTERN SIDE OF THE HERITAGE HOUSE

- NOTES:**
- EXISTING STAIRS TO BE REMOVED. NEW STEPS TO BE ADDED. REFER TO PROPOSED DRAWINGS FOR NEW STEPS.
 - ROOF SHINGLES TO BE REPLACED, MATCHING THE EXISTING HERITAGE HOUSE SHINGLE FORM AND COLOUR.
 - EXISTING EXTERIOR CHIMNEY WILL BE PRESERVED, IF POSSIBLE AND RESTORED, IF NEEDED. THE CHIMNEY MAY NEED TO BE DISMANTLED PRIOR TO BUILDING RELOCATION. IT WILL BE REBUILT USING ITS ORIGINAL BRICKS, IN ITS ORIGINAL FORM.
 - SECOND CHIMNEY WILL BE REMOVED. GOOD CONDITION BRICKS WILL BE REPURPOSED IN OTHER CHIMNEY RESTORATION, IF NEEDED.
 - EXISTING WINDOWS TO BE PRESERVED, WHERE POSSIBLE, BASED ON THE EXISTING CONDITIONS AND TO BE VERIFIED AND CHECKED AFTER MOVING TO THE NEW LOCATION. REPAIR IN KIND, AS NECESSARY. ALL NEW WINDOWS AT REAR WILL MATCH THE EXISTING CHARACTER OF THE WINDOWS SO AS TO BLEND INTO THE HERITAGE HOUSE'S OVERALL FORM AND STYLE.
 - EXISTING VINYL SIDING TO BE REMOVED. WOOD SIDING UNDERNEATH WILL BE PRESERVED. REPAIR IN KIND, AS NECESSARY, MATCHING EXISTING FINISH AND COLOUR.
 - WINDOW SHUTTERS TO BE RESTORED, MATCHING EXISTING DIMENSIONS, PROFILE AND COLOUR.
 - EXISTING FRONT DOOR AND SIDELIGHTS TO BE PRESERVED.
 - EXISTING DECK AT REAR TO BE REMOVED.
 - EXISTING STEEL STAIRS TO BE REMOVED.
 - EXISTING RAILING WITH PATIO DECKING AND WALLS TO BE REMOVED.
 - FACIA / GUTTER TO BE PRESERVED. REPAIR IN KIND, AS NECESSARY, WITH FINISH AND COLOUR TO MATCH EXISTING HERITAGE HOUSE, WHERE REQUIRED.
 - EXISTING WOOD SOFFITS TO BE PRESERVED.

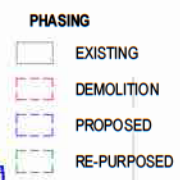
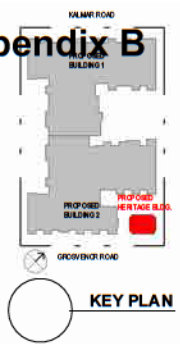
PROJECT NAME: HERITAGE HOUSE
PROJECT ADDRESS: APARTMENT DEVELOPMENT AT 13753, 13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT: GENARIS PROPERTIES

DATE: 06/10/2020
PROJECT NO.: 24-212
SCALE: As Indicated
DRAWN BY: A.R.C.
CHECKED BY: R.W.

NO.	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2020
4	Heritage House Revised DP	03.02.2020
3	Heritage House Revised DP	12.01.2020
2	Heritage House Revised DP	18.12.2020
1	Heritage House DP	04.12.2020

EXISTING HERITAGE HOUSE IMAGES

Appendix B



Unit 209-632 1 King George Blvd
Surrey BC, V3X 1G1
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PROJECT NAME:
HERITAGE HOUSE

PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C

CLIENT:
GENARIS PROPERTIES

DATE:
06/2020

PROJECT NO.:
34-212

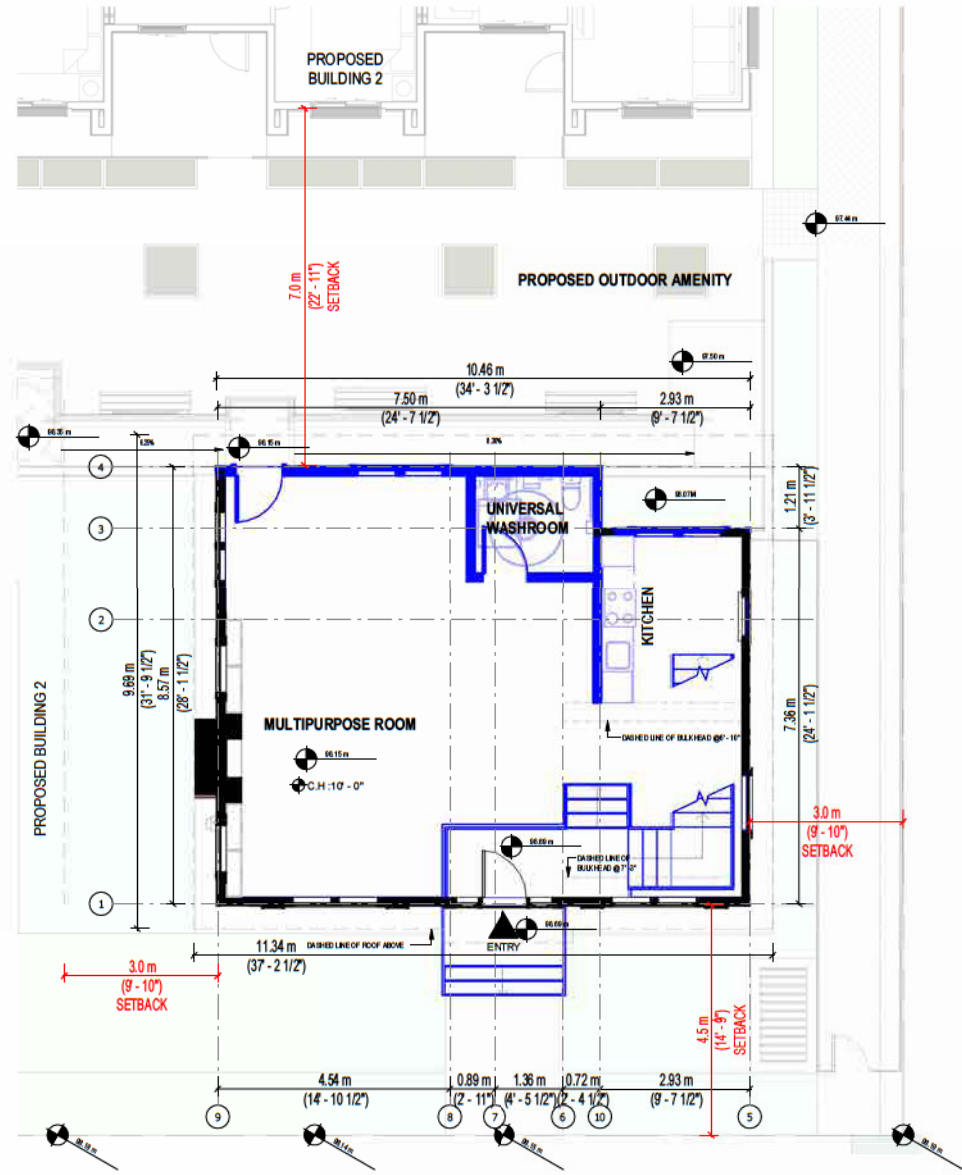
SCALE:
As Indicated

DRAWN BY:
ARC

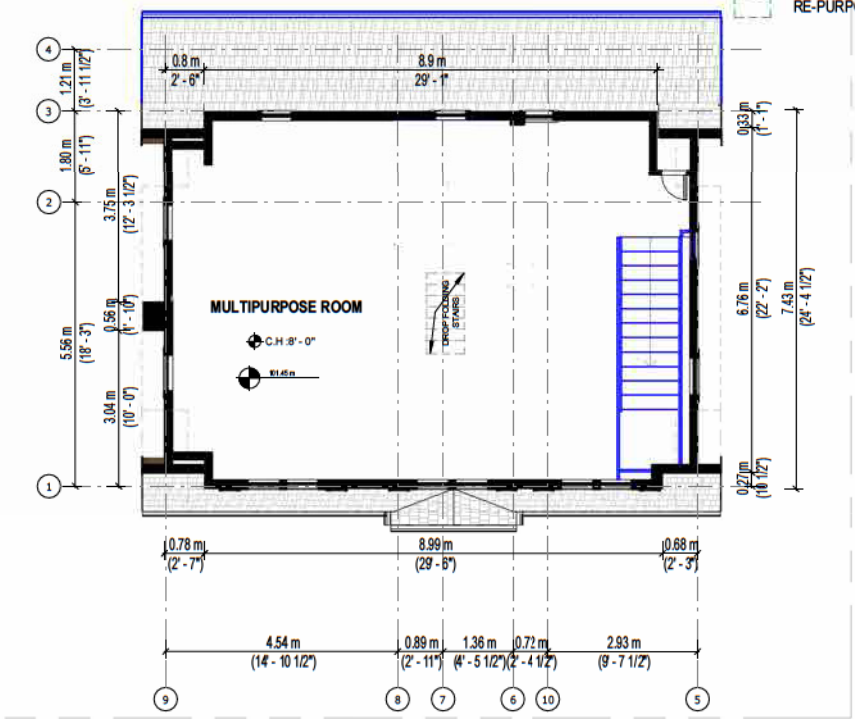
CHECKED BY:
RW

NO.	DATE	DESCRIPTION
5	06.02.2020	Heritage House Revised DP
4	03.02.2020	Heritage House Revised DP
3	12.01.2020	Heritage House Revised DP
2	18.12.2020	Heritage House Revised DP
1	04.12.2020	Heritage House DP
REV	REVISION	DATE

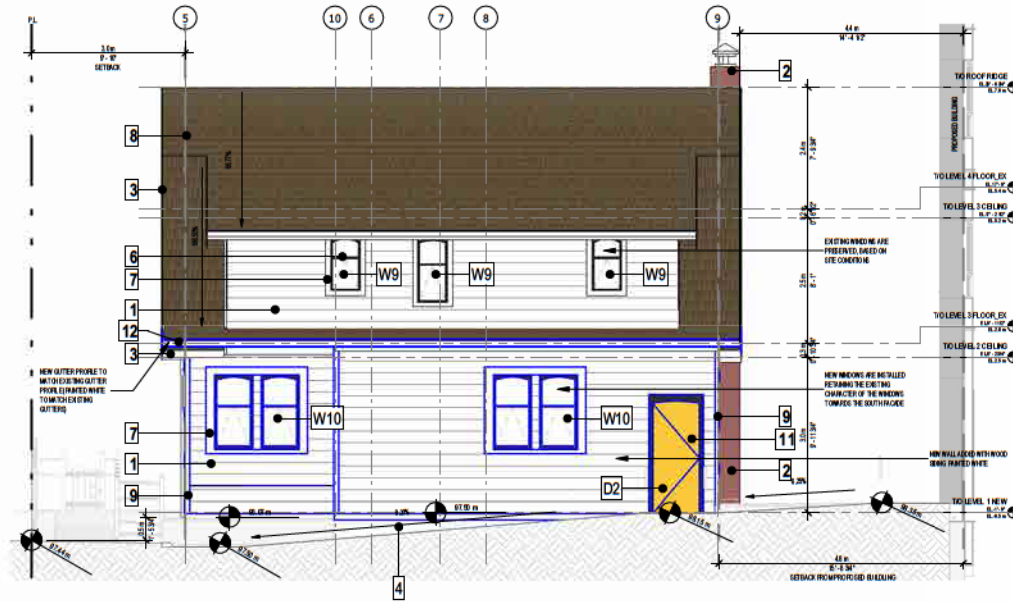
FLOOR PLANS
PROPOSED
A201



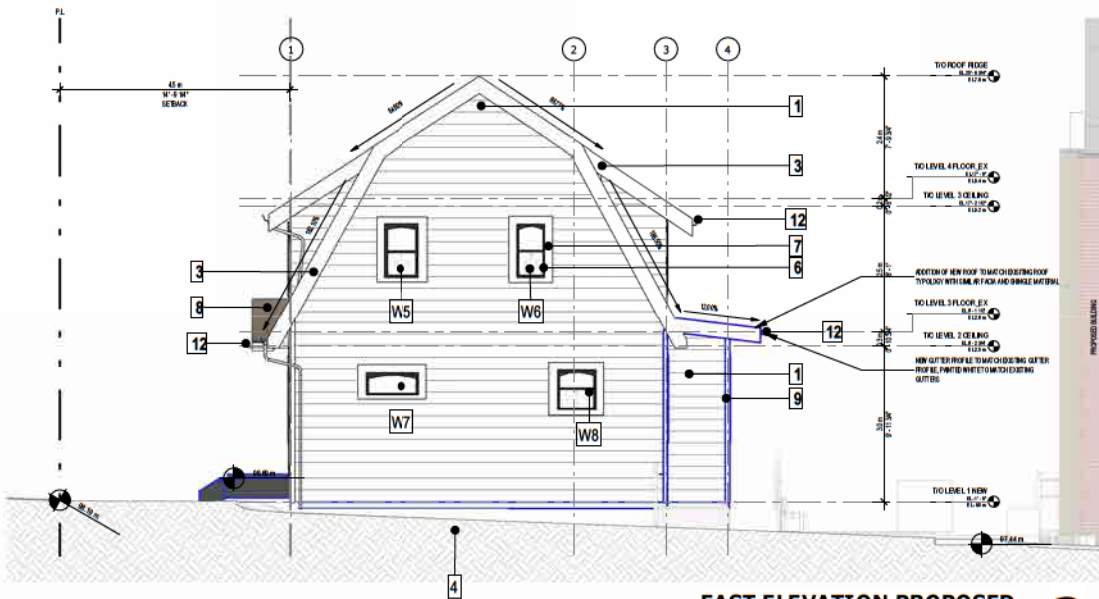
LEVEL 1 FLOOR PLAN - PROPOSED **1**
1/8" = 1'-0"



LEVEL 2 FLOOR PLAN - PROPOSED **2**
1/8" = 1'-0"



NORTH ELEVATION PROPOSED **1**
1/8" = 1'-0"

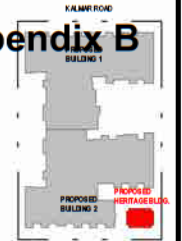


EAST ELEVATION PROPOSED **2**
1/8" = 1'-0"

MATERIALS

- 1 Horizontal Siding; Finish: Wood; Colour: White
- 2 Brick Masonry; Colour: Red / White grout
- 3 Facia board; Finish: Wood; Colour: White
- 4 Concrete Walls
- 5 Shutters; Finish: Wood; Colour: Black
- 6 Window Frames and Sashes; Finish: Wood; Colour: Black
- 7 Window Trim; Finish: Wood; Colour: White
- 8 Roof; Asphalt Shingles; Colour: Light Grey-Brown
- 9 Corner Trims, Material: Wood; Colour: White
- 11 Paint; Colour: Mustard Yellow
- 12 Gutter; Material: Metal; Paint: White
- 13 Steps; Material: Wood; Colour: Painted Dark Grey

Appendix B



KEY PLAN

PHASING

- EXISTING
- DEMOLITION
- PROPOSED
- RE-PURPOSED



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PROJECT NAME: HERITAGE HOUSE
PROJECT ADDRESS: APARTMENT DEVELOPMENT AT 13753, 13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT: GENARIS PROPERTIES

DATE: 06/10/2018
PROJECT NO.: 24-212
SCALE: As indicated
DRAWN BY: A.R.C.
CHECKED BY: R.W.

NO.	REVISION	DATE
5	Heritage House Revised DP	06.02.2018
4	Heritage House Revised DP	03.02.2018
3	Heritage House Revised DP	12.01.2018
2	Heritage House Revised DP	18.12.2017
1	Heritage House DP	04.12.2017

EXISTING WINDOWS
 [W1][W2][W3][W4][W5][W6][W7][W8][W9]
 EXISTING WINDOWS PRESERVED. REPAIR IN KIND AS NECESSARY. RESTORE WOOD SHUTTERS.

NEW WINDOWS
 [W10] NEW WINDOWS CREATED. WINDOW ASSEMBLY, FRAMES, TRIMS TO MATCH EXISTING WINDOWS IN COLOUR AND FORM

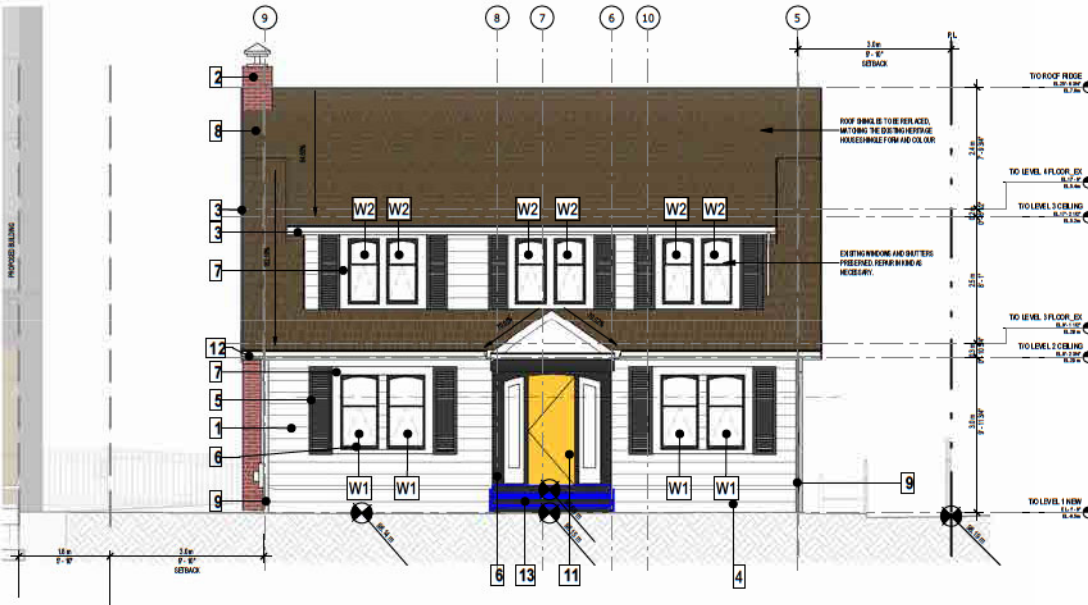
EXISTING EXTERIOR DOOR
 [D1] EXISTING DOOR PRESERVED. REPAIR IN KIND AS NECESSARY BASED ON SITE CONDITIONS.

NEW EXTERIOR DOOR
 [D2] NEW DOOR INTRODUCED IN NORTH FACADE. FRAMES, TRIMS TO MATCH EXISTING COLOUR AND FORM OF ENTRANCE DOOR D1

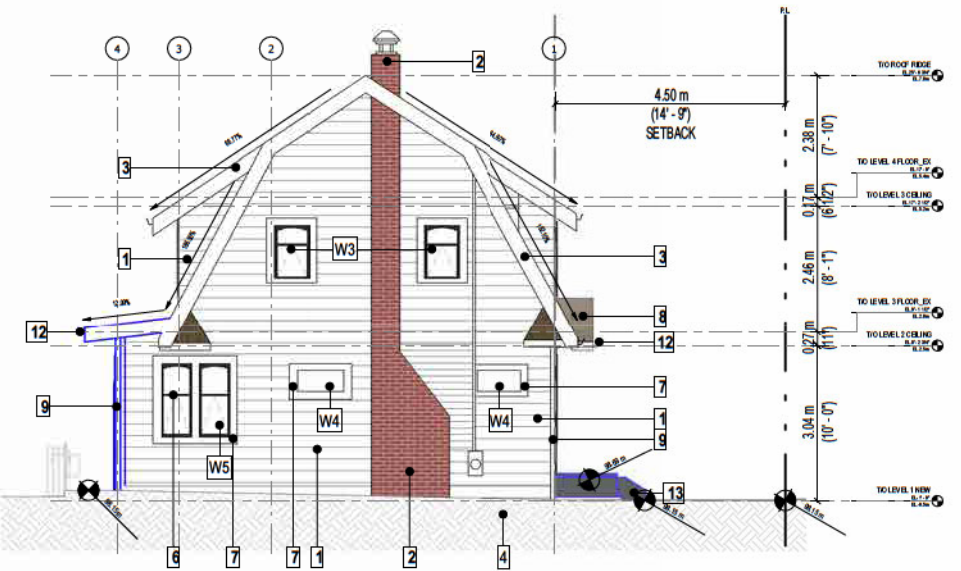
NOTE:
 * ALL DOORS AND WINDOWS WILL BE PRESERVED, WHERE POSSIBLE, BASED ON SITE CONDITIONS OF THE HERITAGE HOUSE. FINISHES AND COLOUR TO MATCH EXISTING
 ** IF ANY MATERIALS ARE BEYOND REPAIR, THEY WILL BE REPLACED TO MATCH THE ORIGINAL IN SIZE, MATERIAL AND STYLE.

ELEVATIONS PROPOSED

A203



SOUTH ELEVATION PROPOSED 3
1/8" = 1'-0"

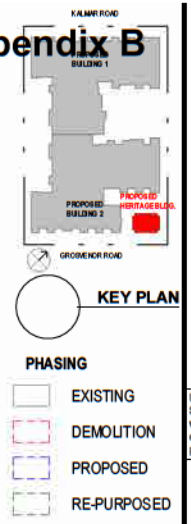


WEST ELEVATION PROPOSED 4
1/8" = 1'-0"

MATERIALS

- 1 Horizontal Siding; Finish: Wood; Colour: White
- 2 Brick Masonry; Colour: Red / White grout
- 3 Facia board; Finish: Wood; Colour: White
- 4 Concrete Walls
- 5 Shutters; Finish: Wood; Colour: Black
- 6 Window Frames and Sashes; Finish: Wood; Colour: Black
- 7 Window Trim; Finish: Wood; Colour: White
- 8 Roof; Asphalt Shingles; Colour: Light Grey-Brown
- 9 Corner Trims, Material: Wood; Colour: White
- 11 Paint; Colour: Mustard Yellow
- 12 Gutter; Material: Metal; Paint: White
- 13 Steps; Material: Wood; Colour: Painted Dark Grey

Appendix B



FLAT ARCHITECTURE
ARCHITECTURE ONI

Unit 209-632 1 King George Blvd
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4484

REGISTERED ARCHITECT
BRITISH COLUMBIA

EXISTING WINDOWS
W1 W2 W3 W4 W5 W6 W7 W8 W9
EXISTING WINDOWS PRESERVED, REPAIR IN KIND AS NECESSARY. RESTORE WOOD SHUTTERS.

NEW WINDOWS
W10 NEW WINDOWS CREATED. WINDOW ASSEMBLY, FRAMES, TRIMS TO MATCH EXISTING WINDOWS IN COLOUR AND FORM

EXISTING EXTERIOR DOOR
D1 EXISTING DOOR PRESERVED. REPAIR IN KIND AS NECESSARY BASED ON SITE CONDITIONS.

NEW EXTERIOR DOOR
D2 NEW DOOR INTRODUCED IN NORTH FACADE. FRAMES, TRIMS TO MATCH EXISTING COLOUR AND FORM OF ENTRANCE DOOR D1

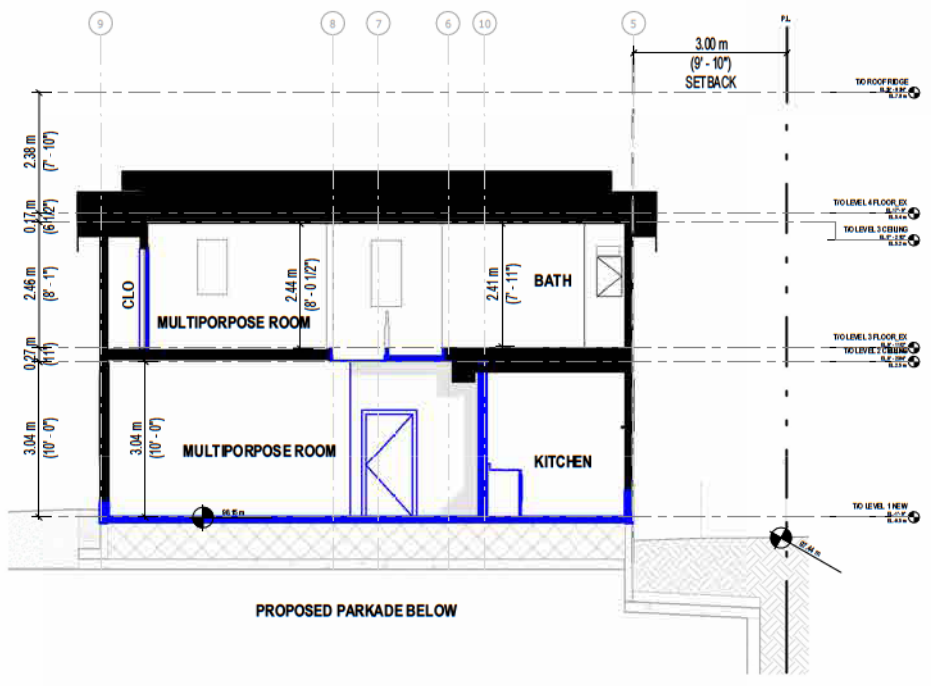
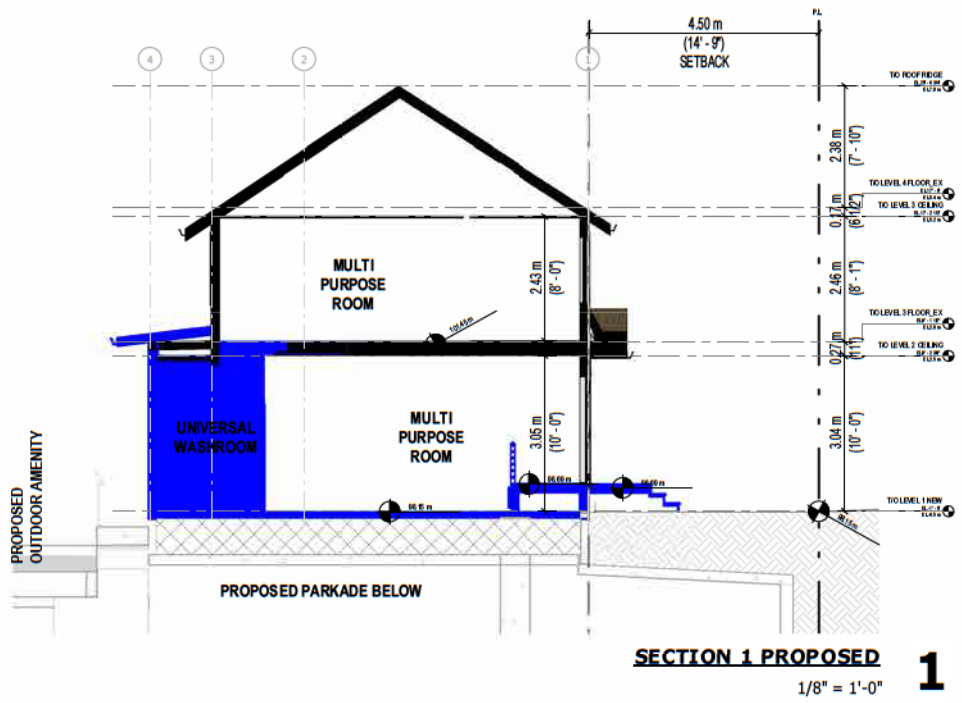
NOTE:
* ALL DOORS AND WINDOWS WILL BE PRESERVED, WHERE POSSIBLE, BASED ON SITE CONDITIONS OF THE HERITAGE HOUSE. FINISHES AND COLOUR TO MATCH EXISTING
** IF ANY MATERIALS ARE BEYOND REPAIR, THEY WILL BE REPLACED TO MATCH THE ORIGINAL IN SIZE, MATERIAL AND STYLE.

PROJECT NAME: HERITAGE HOUSE
PROJECT ADDRESS: APARTMENT DEVELOPMENT AT 13753, 13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT: GENAMIS PROPERTIES

DATE: 06/03/2018
PROJECT NO: 24212
SCALE: As Indicated
DRAWN BY: ARC
CHECKED BY: RW

REV	DATE	DESCRIPTION
5	06.02.2018	Heritage House Revised DP
4	03.02.2018	Heritage House Revised DP
3	12.01.2018	Heritage House Revised DP
2	18.12.2017	Heritage House Revised DP
1	04.12.2015	Heritage House DP

ELEVATIONS PROPOSED



Appendix B

KEY PLAN - SECTION
1" = 160'-0"

PHASING

- EXISTING
- DEMOLITION
- PROPOSED
- RE-PURPOSED

FLAT ARCHITECTURE

Unit 209-632 1 King George Blvd
Surrey BC, V3X 1G1
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Ph: 604-503-4484

REGISTERED ARCHITECT
BRITISH COLUMBIA

PROJECT NAME: HERITAGE HOUSE
PROJECT ADDRESS: APARTMENT DEVELOPMENT AT 13753, 13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT: GENARIS PROPERTIES

DATE: 06/02/2020
PROJECT NO.: 34-212
SCALE: As Indicated
DRAWN BY: A.R.C.
CHECKED BY: R.W.

REV	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2020
4	Heritage House Revised DP	03.02.2020
3	Heritage House Revised DP	12.01.2020
2	Heritage House Revised DP	18.12.2020
1	Heritage House DP	04.12.2020

SECTION PROPOSED

A205

Appendix B

- PHASING**
- EXISTING
 - DEMOLITION
 - PROPOSED
 - RE-PURPOSED



Existing Heritage House 1



Heritage House - Showing Demolition 2



Heritage House - Showing New & Retained 3



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Unit 209-6321 King George Blvd,
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PROJECT NAME:
HERITAGE HOUSE
PROJECT ADDRESS:
APARTMENT DEVELOPMENT AT 13753,
13761 GROSVENOR ROAD, SURREY, B.C
CLIENT:
GEMARIS PROPERTIES

DATE:
06/03/2020
PROJECT NO.:
24-212
SCALE:
3/32" = 1'0"

DRAWN BY:
A.R.C.
CHECKED BY:
R.W.

REV	DESCRIPTION	DATE
5	Heritage House Revised DP	06.02.2020
4	Heritage House Revised DP	03.02.2020
3	Heritage House Revised DP	12.01.2020
2	Heritage House Revised DP	18.12.2020
1	Heritage House DP	04.12.2020

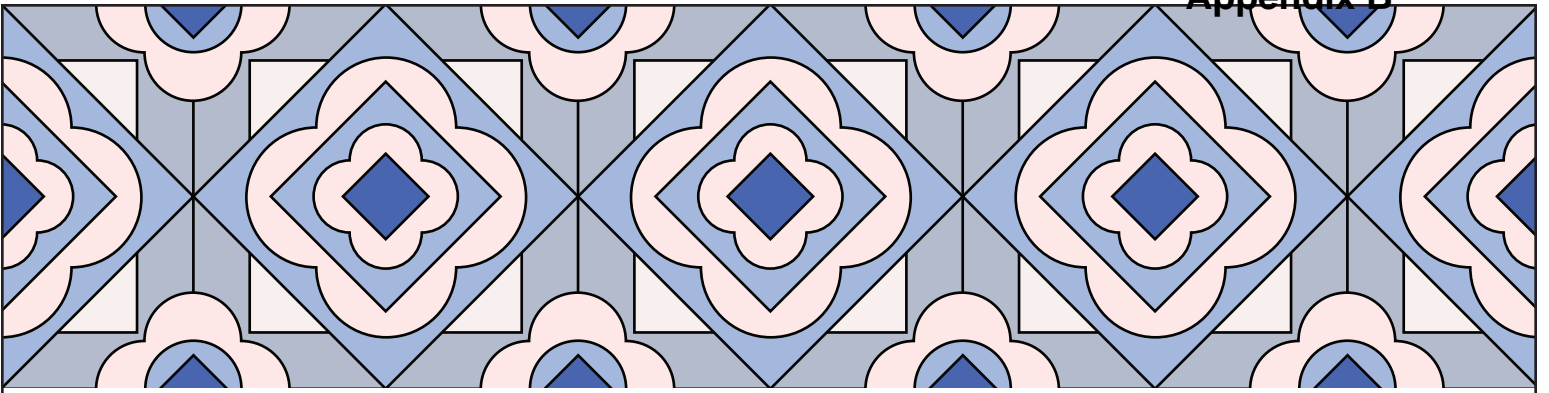
SCHMATIC VIEWS

Appendix "B"

HERITAGE CONSERVATION PLAN
McCurdy Residence – 13761 Grosvenor Road
Cummer Heritage Consulting Plan, February 2026

(The "Cummer Heritage Consulting Plan")

(Attachment beginning on the next page)



HERITAGE CONSERVATION PLAN

13761 GROSVENOR ROAD
SURREY, BC



February 2026

SARNIA

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1.0 INTRODUCTION



Fig. 1: Front view of 13761 Grosvenor Road, 2025.
(Source: Cummer)

The following report is a Heritage Conservation Plan for the proposed work to be done to 13761 Grosvenor Road, in Surrey, BC (Figs. 1 and 2). The proposed work involves relocating the property forward so that it is more visible from the street; restoring its original footprint and exterior look; and rehabilitating it so it can be used as an amenity structure for the new development on the site. The following report is based on the research conducted at the BC Archives, the Library and Archives Canada, the Surrey Archives and the Vancouver Archives, in addition to a site visit conducted on September 11, 2025.

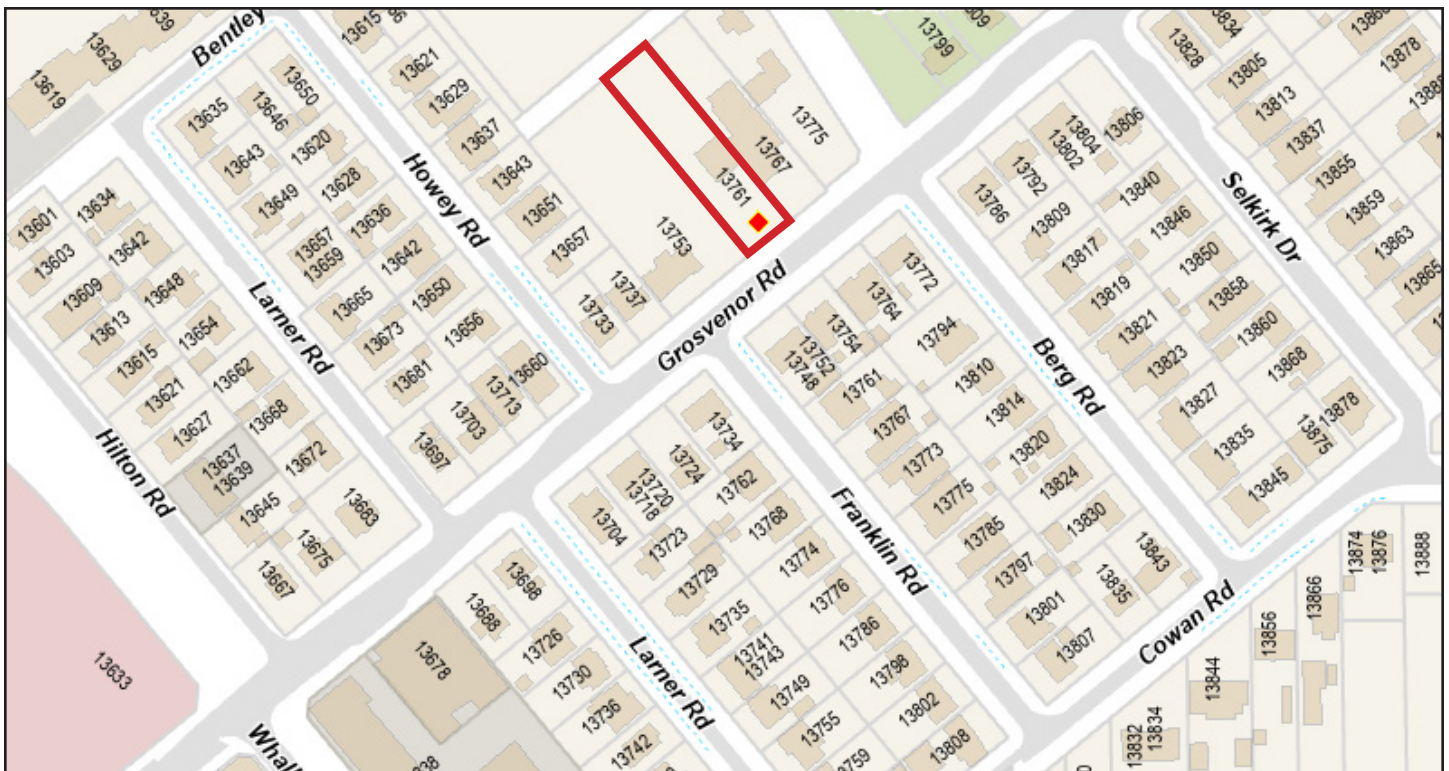


Fig. 2: Map of 13761 Grosvenor Road in Surrey, BC, with the property pinpointed with a red dot. (Source: COSMOS City Map)

2.0 HISTORICAL CONTEXT

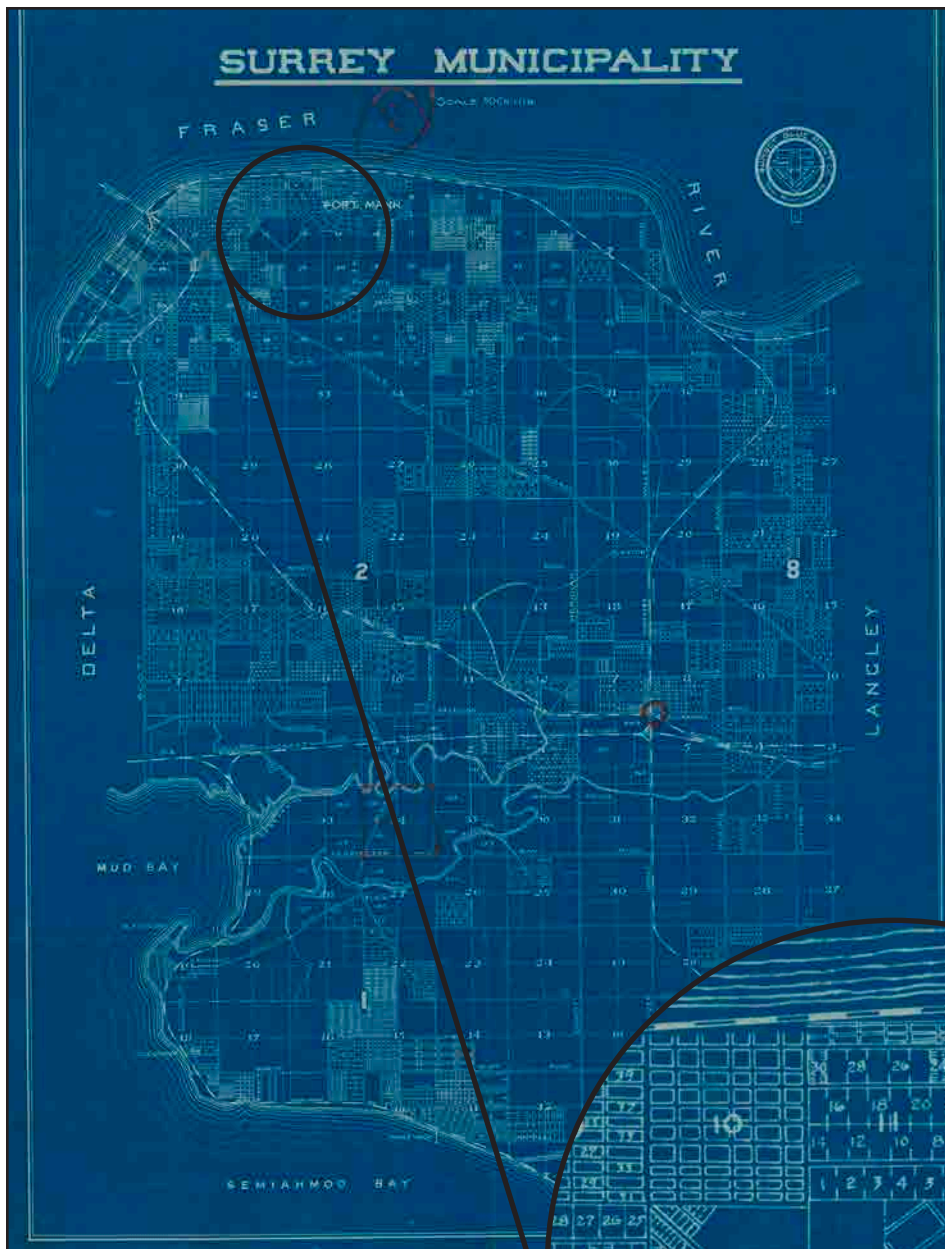


Fig. 3: Map of Surrey Municipality, c. 1910, showing land subdivision within portions of the municipality. The eventual approximate location of 13761 Grosvenor Road, within Section 14, is pinpointed in red. (Source: City of Vancouver Archives, Map 1049)

Situated on the traditional territories of the Coast Salish peoples, including the Katzie, Kwantlen and Semiahmoo First Nations, the colonial history of the Surrey area dates back to the 1860s when “Governor James Douglas first offered land for sale in the area that was to become Surrey. The price: \$1 an acre” (Graziano 1997, p. 134). The City was incorporated in 1879 and slowly began to develop through the late 19th century into the early 20th century (Fig. 3). During this time, as was the case in many areas of the province, land speculation was a common practice and meant that various companies and groups were buying land to hold onto and eventually subdivide off, hopefully at a profit. This is visible in looking at the registered owners of 13761 Grosvenor Road (Table 1).

Table 1: Consolidated list of the registered owners of 13761 Grosvenor Road		
Registered Owner	Title Registered	Title Canceled
Fraser River Land Company Limited	11 Oct 1912	16 Feb 1915
Canadian Northern Town Properties Company Limited and National Trust Company Limited	16 Feb 1915	01 Oct 1925
Herbert William Barker	01 Oct 1925	13 Nov 1933
Christina Mary Galbraith	13 Nov 1933	14 Oct 1938
Henry McCurdy (until 02 Dec 1949) and Sadie McCurdy	14 Oct 1938	04 Mar 1950
Alfred William Hamelin and Doris Ethel Hamelin	04 Mar 1950	22 Feb 1951
Gap in the record		
Hildegard Pollak	1985	2002
FI* and S*	2002	2024
09*	2024	Current

(Source: West Coast Title Search)

From these registered owners, cross-referenced with the available subdivision plans, it appears the land was subdivided by Christina Galbraith on December 12, 1933 (NWP5392, Ref. 105704E). However, none of the earlier owners built the current structure on the land. Instead, as determined through cross-referencing newspaper articles from the 1930s, the house appears to have been built by the McCurdy Family in 1938 (Fig. 4), when the property was numbered 1633 (as was the case until 1957, when Surrey renumbered its addresses).

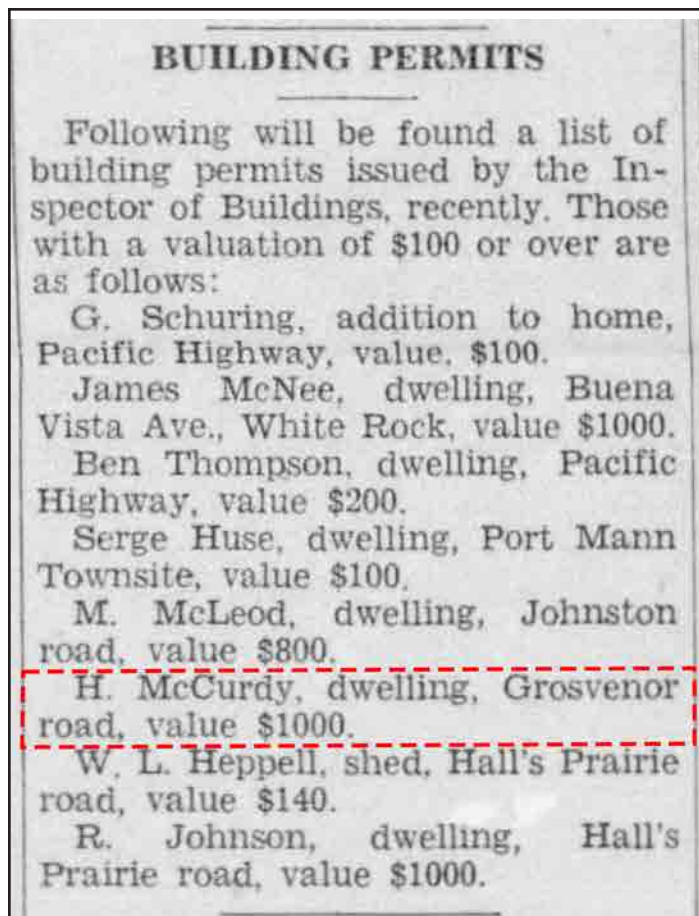
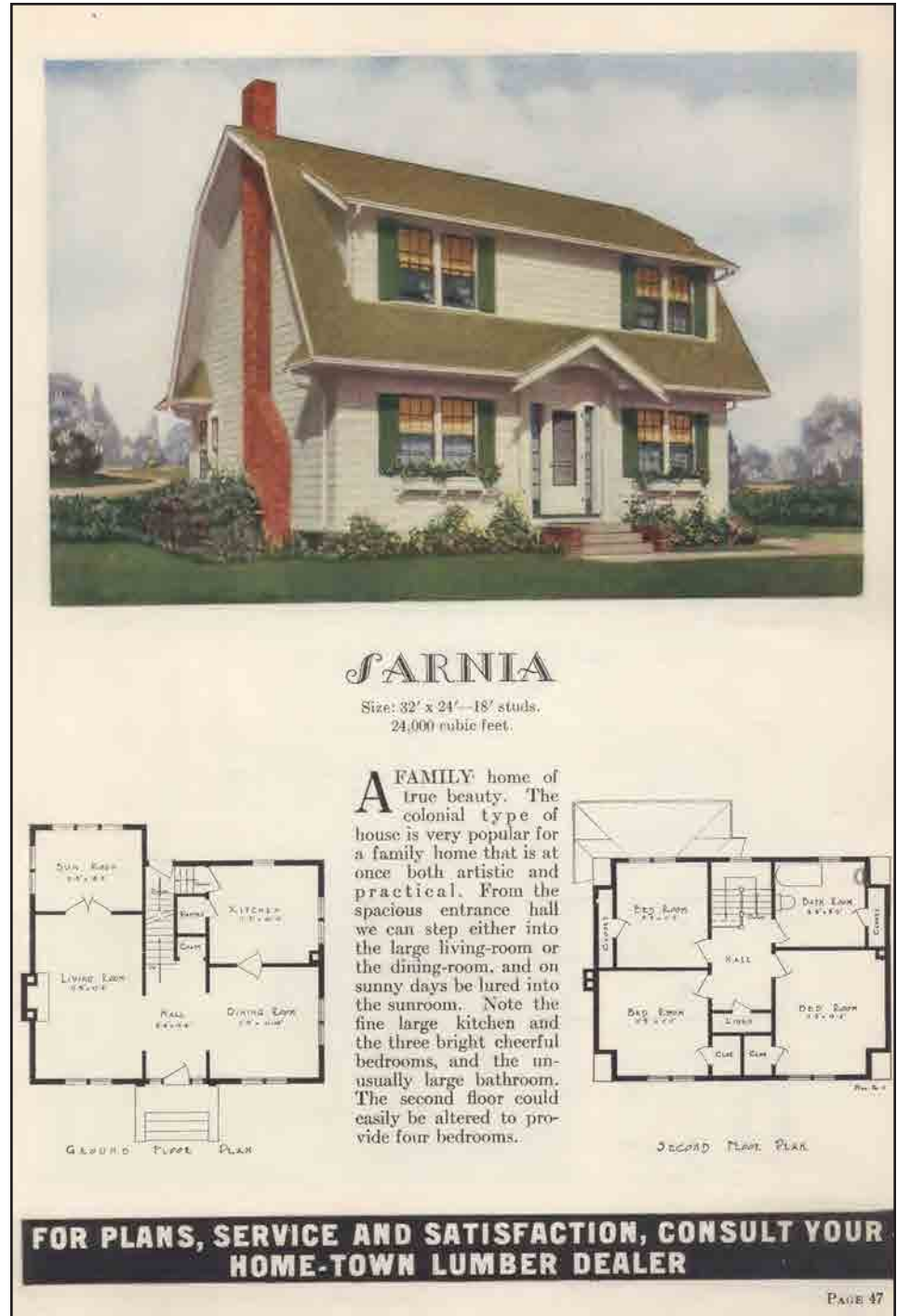
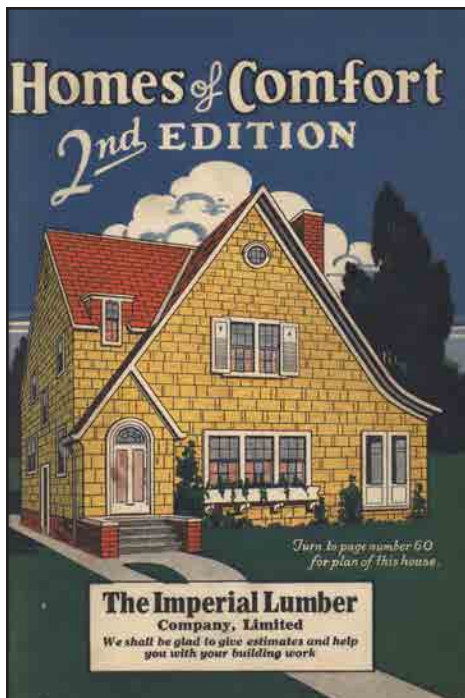


Fig. 4: Newspaper article discussing McCurdy's building permit for Grosvenor Road, 1938. (Source: Surrey Leader, November 23, 1938, p. 4)

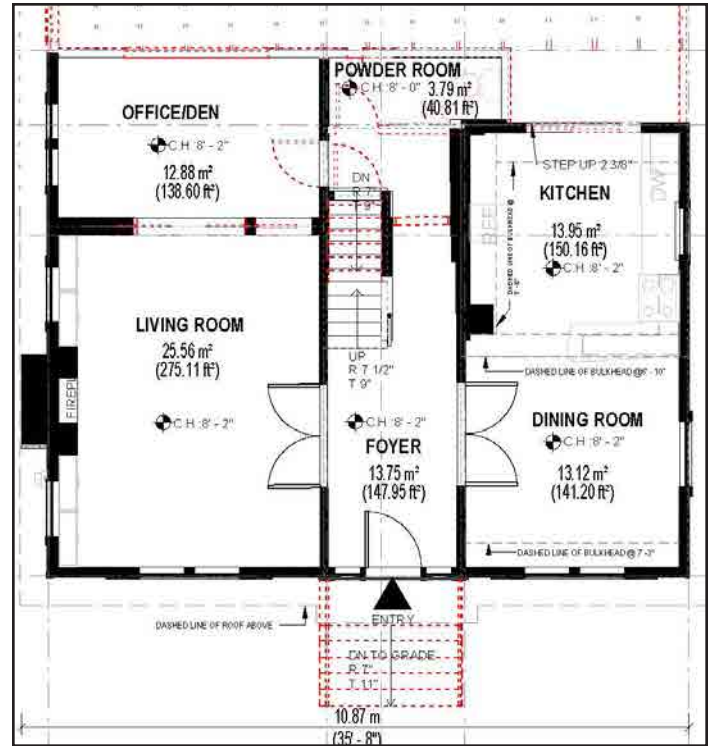
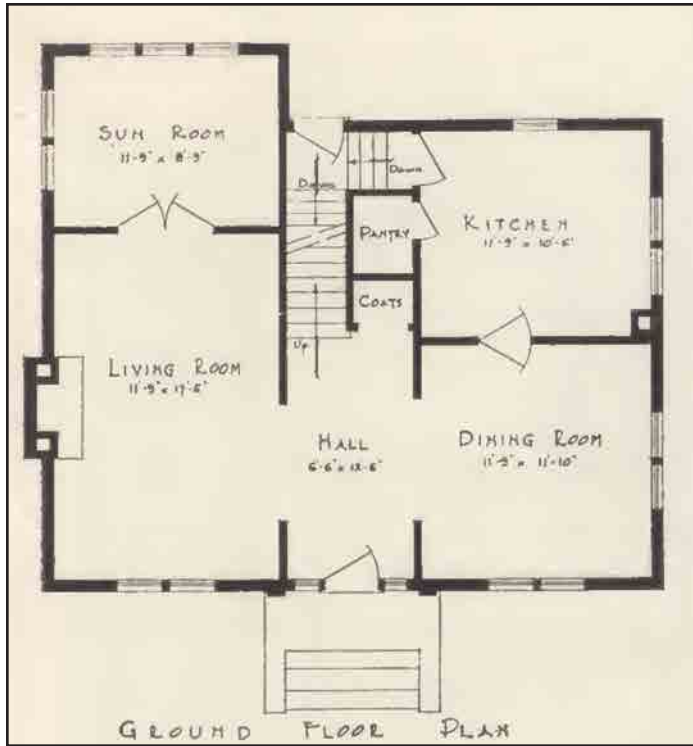
Unfortunately, due to the more rural nature of the property, the original drawings of 13761 Grosvenor Road were not available. However, rather interestingly, it appears the house may have been built from a pattern book, potentially the 1937 publication *Homes & Comfort* 2nd Edition (Fig. 5a). The house appears to be a very close match for the Sarnia pattern (Fig. 5b), in the Dutch Colonial Revival tradition (VHF 2025).



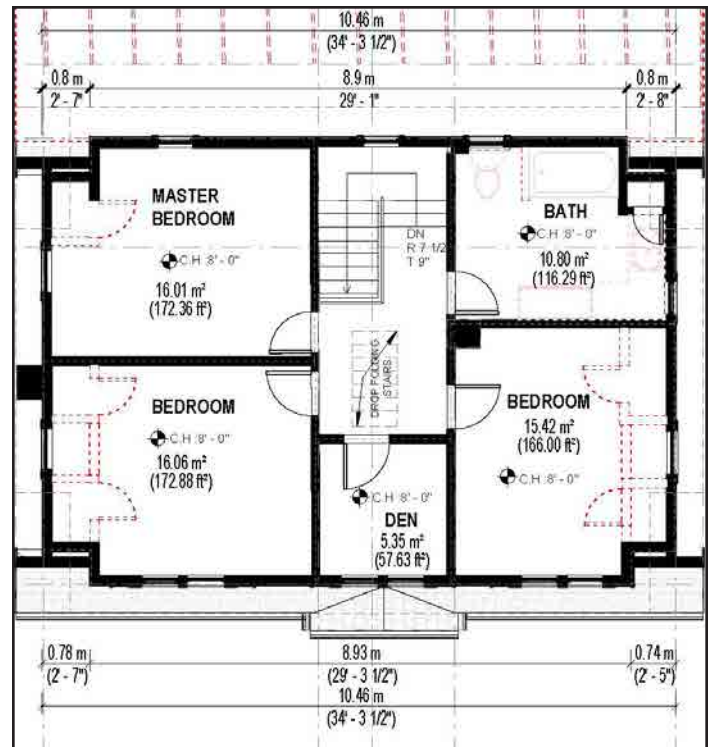
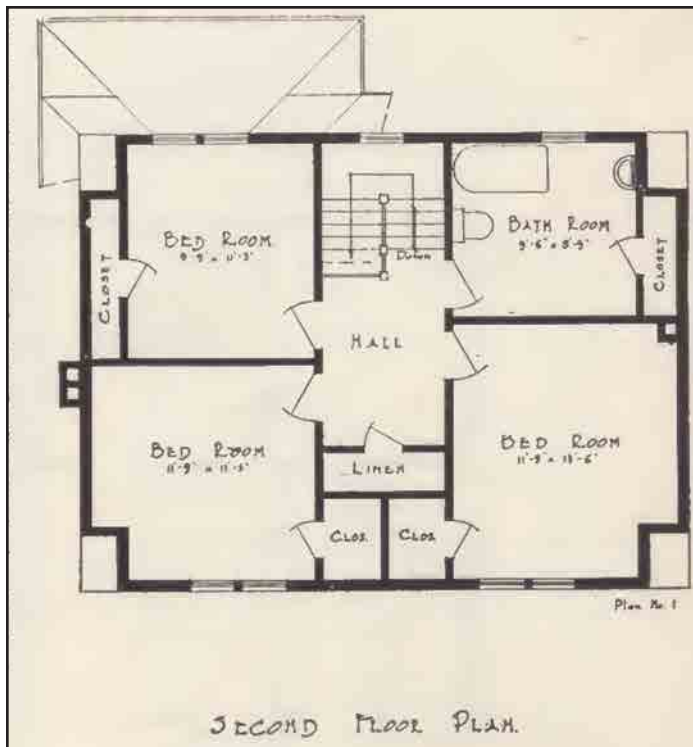
Figs. 5a and 5b: Cover of *Homes & Comfort* architectural pattern book and the Sarnia house pattern. (Source: Imperial Lumber Company Ltd. 1937, p. 47)



Figs. 5c and 5d: View of 13761 Grosvenor Road, 2018, showing its close alignment with the Sarnia pattern. (Sources: DLA and Imperial Lumber Company Ltd. 1937, p. 47)



Figs. 5e and 5f: Sarnia ground floor plan, 1937 versus the existing floor plan of 13761 Grosvenor Road, 2025. Note the very close match between the two. (Sources: Imperial Lumber Company Ltd. 1937, p. 47 and FLAT Architecture Inc.)



Figs. 5g and 5h: Sarnia second floor plan, 1937 versus the existing floor plan of 13761 Grosvenor Road, 2025. Note the very close match between the two. (Sources: Imperial Lumber Company Ltd. 1937, p. 47 and FLAT Architecture Inc.)



There are also no historical photographs of the property available, beyond the few aerial views showing the structure in its larger context (Figs. 6). The only older photographs available of the house were from 2018 when a Heritage Assessment was conducted (DLA 2018). The following catalogues the available materials (Figs. 7), which show the structure, prior to being boarded up, as it is today. These have been used as the basis and guide for the proposed conservation work being undertaken, in addition to the character defining elements, outlined in the following section.

Fig. 6a: Aerial view of Grosvenor Road, 1949. 13761 Grosvenor Road is outlined in red. (Source: City of Surrey COSMOS)

Fig. 6b: Aerial view of Grosvenor Road, 1953. 13761 Grosvenor Road is outlined in red. (Source: Surrey Archives F83-0-0-0-0-0-0-28)

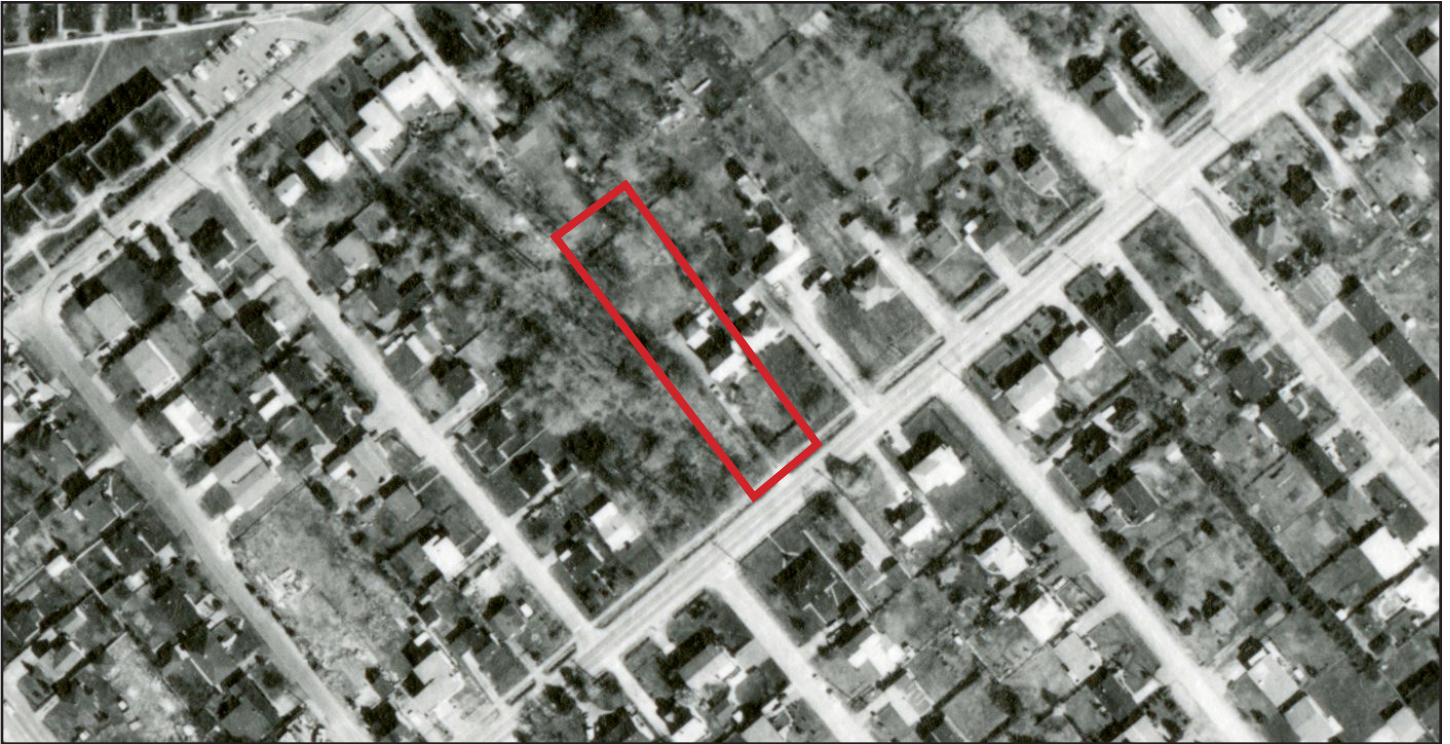


Fig. 6c: Aerial view of Grosvenor Road, 1974. 13761 Grosvenor Road is outlined in red. (Source: Surrey Archives COS. PL 4-6)



Fig. 6d: Aerial view of Grosvenor Road, 1984. 13761 Grosvenor Road is outlined in red. (Source: Surrey Archives COS. PL 4)



Figs 7a (above): Side view of 13761 Grosvenor Road, 2018, showing the extent of the original structure and some of its character-defining elements, including its gambrel roof and full-length exterior brick chimney. (Source: DLA)

Fig. 7b (top right): Front view of 13761 Grosvenor Road, 2018. (Source: DLA)

Fig. 7c (middle right): Rear view of 13761 Grosvenor Road, 2018. Note the mid-century rear addition at the back. (Source: DLA)

Fig. 7d (bottom right): Side view of 13761 Grosvenor Road, 2018, showing the mid-century rear addition off of the original structure. (Source: DLA)

3.0 STATEMENT OF SIGNIFICANCE

The following Statement of Significance (SoS) was researched and written by Samuel Boisvert of Luxton Heritage Consultants (January 8, 2025).

3.1 DESCRIPTION OF HISTORIC PLACE

The McCurdy Residence is a one and one-half storey house located midblock on the north side of Grosvenor Road, between Howey and Harper Roads, in the City Centre community of Surrey. The house is characterized by its Dutch Colonial Revival architecture, expressed by its gambrel roof structure with large shed-roof dormer and exterior masonry chimney.

3.2 HERITAGE VALUE

The McCurdy Residence is valued as part of the interwar development of Surrey's City Centre community, just prior to the Second World War, as constructed for Henry George and Sadie McCurdy, and for its Dutch Colonial Revival architecture.

The City Centre area of Surrey is located on the traditional, unceded territory of the Katzie, Kwantlen, and Semiahmoo people. These Indigenous communities have maintained profound and ongoing relationships with the land, extending back long before the arrival of settlers. Colonial expansion into the area now known as Surrey City Centre began as early as the 1880s. During this time, the area was a rural hub defined by farming and logging, industries essential to the settler economy. For decades, the area remained sparsely populated, until the 1930s ushered in a pivotal but difficult era

for the region. The Great Depression profoundly impacted British Columbia, leaving communities across the Lower Mainland, including Surrey, struggling with widespread unemployment and financial hardship. Many infrastructure projects were stalled during this time, however, the construction of the Pattullo Bridge, which opened in 1937, became a signal of progress as it provided an essential connection between New Westminster and Surrey. Though the economy was still fragile, the bridge gave rise to more accessible transportation, which encouraged gradual settlement in North Surrey, including along Grosvenor Road, which stretched between the small locales of Port Mann and Whalley's Corner. For some families, relocating to the area offered the chance to start anew, often through subsistence farming or small-scale enterprises. It was in 1938, during this period of tenuous growth, that the McCurdy family had this residence constructed.

The McCurdy Residence is also valued for its association with its original owners and occupants, the McCurdy family. Originally from New Brunswick, Henry G. McCurdy (1900-1949) moved west, living first in Hanna, Alberta, before arriving in British Columbia in the late 1920s. Henry and Irish-born Sarah J. (née Scott; 1893-1974) were married in Vancouver in 1929, and in 1937, the McCurdy's purchased this property, originally 2 acres in size, which would soon feature their family home. The McCurdys raised Toggenburg

goats and geese here, and during the Second World War, Henry served as a pilot in the Royal Canadian Air Force. His service inspired his own daughter, Colleen (born c.1932), to become a pilot, and she served with the RCAF and NATO during the Korean War, and was stationed in France during that time. Sarah sold this property in 1950 following the passing of her husband, and it was first subdivided the following year in 1951.

The McCurdy Residence is additionally valued for its Dutch Colonial Revival architecture. The style was popularized by early Dutch settlers in New York and New Jersey, who developed the distinctive housing form. The style was revived in the late 1800s in the United States where it later spread north to Canada. The main distinguishing feature of the Dutch Colonial Revival style is its gambrel roof with wide shed dormers at the front and rear. Additionally, these typically feature a central entry on the long side, regular fenestration, external chimneys, and white-painted wooden siding, many of which are featured on the McCurdy Residence. The house is an excellent and rare example of the Dutch Colonial Revival style of architecture in Surrey.

3.3 CHARACTER DEFINING ELEMENTS

The elements that define the heritage character of McCurdy Residence include, but are not limited to its:

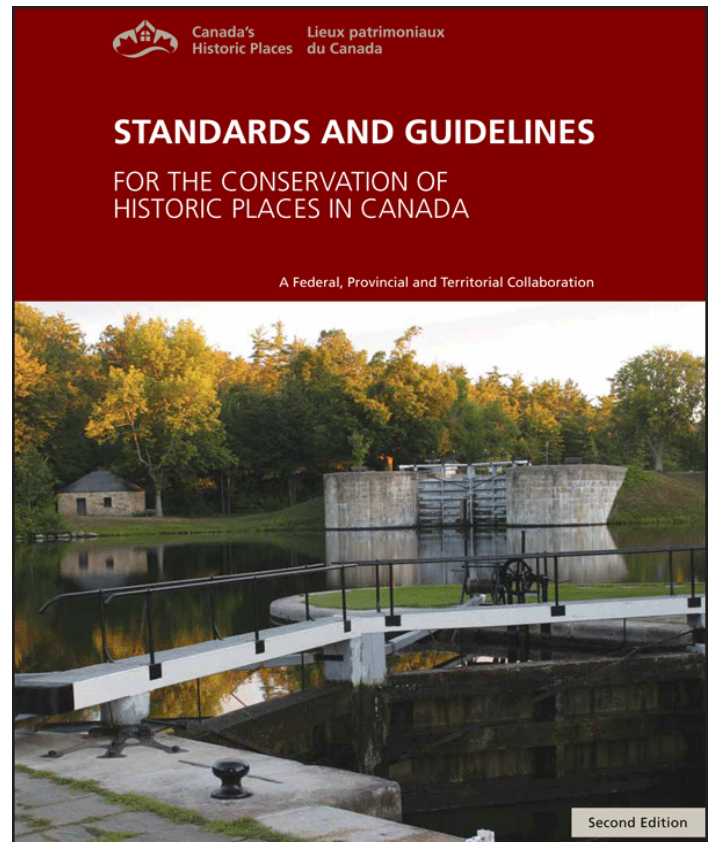
- *location along Grosvenor Road in North Surrey's City Centre neighbourhood;*
- *significant setback from the road;*
- *residential form, scale and massing as expressed by its one and one-half storey height, rectangular plan, gambrel roof structure; short, one-storey extension off of rear elevation; and central front entryway accessed by a flight of steps, with the main floor set a half-storey above grade;*
- *wood frame construction, including horizontal wood siding; wood fascia; and concrete foundation;*
- *fenestration including single and double assembly wood windows featuring: fixed and hung sashes, and segmental arch shaped lights in upper and fixed wood sashes; and front door assembly with decorative wood surround featuring a segmental arch opening, sidelights, fluted wood flat pilasters, and wood entablature;*
- *Dutch Colonial Revival design features, including its symmetrical design; gambrel roof with returned eaves; and wide shed dormers at the front and rear; and*
- *exterior masonry chimney on the side elevation, and central internal masonry chimney.*

Note regarding rear addition to McCurdy Residence

While the original massing of the McCurdy Residence features a short one-storey extension off of the rear elevation, sometime between 1966 and 1998, a large, full-width, partially enclosed deck was constructed on the rear of the dwelling. This post-1966 structure features a low-pitch shed roof and concrete block foundation, and includes an attached garage beneath within the exposed basement level. This non-original rear addition is not a Character-defining Element, and its removal will not detract from the heritage significance of this resource.

4.0 CONSERVATION GUIDELINES

The *Standards and Guidelines for the Conservation of Historic Places in Canada (Second Edition)* (Parks Canada, 2010) is the pan-Canadian set of conservation principles that guides all conservation work in Canada and is the foundation of the conservation approach being employed with regards to 13761 Grosvenor Road in Surrey, BC. As defined by the Standards and Guidelines, the work proposed includes aspects of **preservation**, **restoration** and **rehabilitation**, which are defined below. The subsequent Standards (Table 2), should be followed when carrying out any conservation work on an historic place, including those proposed for 13761 Grosvenor Road.



Standards and Guidelines for the Conservation of Historic Places in Canada. (Source: Parks Canada)

Preservation: The action or process of **protecting, maintaining** and/or **stabilizing** the **existing** materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration: The action or process of accurately **revealing, recovering** or **representing** the state of a historic place or of an individual component, as it appeared at a **particular period** in its history, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible **contemporary use** of an historic place or of an individual component, through **repair, alterations**, and/or **additions**, while protecting its heritage value.

(Parks Canada 2010, p. 255)

Table 2a: General Standards for Preservation, Rehabilitation and Restoration

Standard	Description
1	Conserve the <i>heritage value</i> of an <i>historic place</i> . Do not remove, replace or substantially alter its intact or repairable character-defining elements . Do not move a part of an historic place if its current location is a character-defining element .
2	Conserve changes to an <i>historic place</i> that, over time, have become <i>character-defining elements</i> in their own right.
3	Conserve <i>heritage value</i> by adopting an approach calling for minimal intervention .
4	Recognize each <i>historic place</i> as a physical record of its time, place and use . Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5	Find a use for an <i>historic place</i> that requires minimal or no change to its character-defining elements .
6	Protect and , if necessary, stabilize an <i>historic place</i> until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place . Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7	Evaluate the existing condition of <i>character-defining elements</i> to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8	Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements , where there are surviving <i>prototypes</i> .
9	Make any intervention needed to preserve <i>character-defining elements</i> physically and visually compatible with the <i>historic place</i> and identifiable on close inspection. Document any intervention for future reference.

Table 2b: Additional Standards Relating to Rehabilitation

Standard	Description
10	Repair rather than replace <i>character-defining elements</i> . Where character-defining elements are too severely deteriorated to repair , and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the <i>historic place</i> .
11	Conserve the <i>heritage value</i> and <i>character-defining elements</i> when creating any new additions to an <i>historic place</i> or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the <i>historic place</i> .
12	Create any new additions or related new construction so that the essential form and integrity of an <i>historic place</i> will not be impaired if the new work is removed in the future.

Table 2c: Additional Standards Relating to Restoration

Standard	Description
13	Repair rather than replace <i>character-defining elements</i> from the <i>restoration</i> period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14	Replace missing features from the <i>restoration</i> period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence .

(Source: Parks Canada 2010, pp. 22-23; with author bolding for clarity and emphasis)

5.0 CONSERVATION OBJECTIVES

A combination of Preservation, Restoration and Rehabilitation are the conservation objectives for the building. Using its character defining elements (CDEs) as a guide as much as possible, 13761 Grosvenor Road will be conserved, as part of its lot's revitalization with additional development on site. 13761 Grosvenor Road has both aesthetic and historical value contributing to its heritage significance. Its aesthetic value lies in its architectural design as a rare example for the area of a Dutch Colonial Revival house, particularly with its gambrel roof. Its historical value is embodied in its connection to the interwar period of development in Surrey.

The conservation of 13761 Grosvenor Road is focused on the preservation of the heritage building, including its various character defining elements, as much as possible; restoration of certain elements, including its original footprint (removing the later addition at the rear) and revealing its original wood siding beneath the current vinyl siding; and rehabilitation of the property by relocating the heritage house within its lots to allow new development on site. In its new location, the relocated structure will be more visible from the street and used to provide amenities to those living in the new buildings on the redeveloped lot (Fig. 8). The following table summarizes the specific elements of 13761 Grosvenor Road to be preserved, restored and rehabilitated (Table 3).

Character Defining Elements (CDEs)

- location along Grosvenor Road in North Surrey's City Centre neighbourhood;
- significant setback from the road;
- residential form, scale and massing as expressed by its one and one-half storey height, rectangular plan, gambrel roof structure; short, one-storey extension off of rear elevation; and central front entryway accessed by a flight of steps, with the main floor set a half-storey above grade;
- wood frame construction, including horizontal wood siding; wood fascia; and concrete foundation;
- fenestration including single and double assembly wood windows featuring: fixed and hung sashes, and segmental arch shaped lights in upper and fixed wood sashes; and front door assembly with decorative wood surround featuring a segmental arch opening, sidelights, fluted wood flat pilasters, and wood entablature;
- Dutch Colonial Revival design features, including its symmetrical design; gambrel roof with returned eaves; and wide shed dormers at the front and rear; and
- exterior masonry chimney on the side elevation, and central internal masonry chimney.

Table 3: List of the elements to be preserved, restored and rehabilitated.		
Preserved	Restored	Rehabilitated
Its location and orientation along Grosvenor Road in the City Centre neighbourhood and its overall residential form, scale and massing	Its original historical footprint, removing its mid-century rear extension	Relocating the structure within its lot, so that it is more visible from the street and to facilitate additional development on site
Its Dutch Colonial Revival design features, including its symmetrical design, gambrel roof and wide shed dormers	Its exterior paint	Replacing the roof and adding a new drainage system in its new location to ensure water run-off
Its wood-frame construction and other wood elements, including fascia, soffits and horizontal siding	Its fascia, soffits and siding beneath vinyl to be revealed and other wood elements restored, as needed	Placing the structure on a new foundation to extend its physical life
Its mixed fenestration and various window assemblies	Window elements, if and as needed, including restoring the window shutters back to wood	Interior updates for its contemporary new use as an amenity building and adding an additional accessibility entrance at the rear to facilitate barrier-free access to the building
Its main chimney, with its full height exterior masonry on its side elevation	Chimney bricks and masonry, as needed	Removing the smaller secondary chimney (good condition bricks to be repurposed and used in the main chimney restoration work)

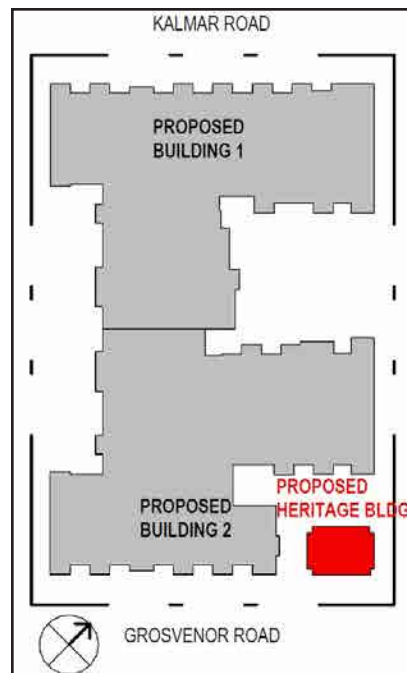


Fig. 8: Site plan of the proposed changes to 13761 Grosvenor Road, showing the structure relocated within its lot. (Source: FLAT Architecture Inc.)

6.0 CONSERVATION RECOMMENDATIONS

Recommendations for the preservation and restoration of 13761 Grosvenor Road are based on a site review and the materials available on the property. A simple, preliminary condition assessment of the property was carried out during a site visit on September 11, 2025. Please note that this involved an exterior visual review of the property only; no testing or material samples were taken.

In summary, the exterior of 13761 Government appears to be in fair to good condition. As outlined below, there are some areas in need of attention, which will be addressed as part of the proposed conservation work for the site. This recommended conservation strategy is based on the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada 2010).

6.1 STRUCTURE

Overall, the condition of the building envelope of 13761 Grosvenor Road, from roof to foundation, appears to be stable. The back patio is of some concern with damage done to it by vandals over the years (Figs. 9 and 10), however, this later addition will be removed as part of this round of conservation work.

Structure Conservation Strategy

Preservation, Restoration and Rehabilitation

- The main structure and its orientation will be **preserved**, including its overall form, scale and massing, as visible from the street.
- The later addition back extension will be removed and the building's original footprint **restored**. This will rectify and address the condition concerns of this part of the building.
- Lastly, the structure will also be **rehabilitated**, being relocated within its lot to a new foundation and the building converted into an amenity structure.
- The structure will remain on-site during construction (not relocated off-site to be brought back). It will be braced in-situ and moved only once to its final, new location.



Figs. 9 and 10: Back views of 13761 Grosvenor Road, 2018 and 2025, showing the condition of the structure's back patio, over time. (Sources: DLA and Cummer)

6.2 ROOFING AND DRAINAGE

It is unclear how old the current roof is, however, its overall condition is fair with some signs of aging, such as chipped shingles, streaking in places as well as some areas of moss growth (Figs. 11). Roof replacement is highly encouraged, with a regular maintenance plan to ensure its longevity.

It is difficult to determine the full condition of the drainage system from a simple exterior inspection. However, the current drainage system seems fairly minimal with only one or two visible downspouts, one of which is not connected to the drainage system (Fig. 12). As part of this conservation work, the drainage system (including the elements below ground) should be upgraded to guarantee optimal performance, with a regular maintenance schedule put in place to ensure their continued efficient and effective functioning.

Roofing and Drainage Conservation Strategy Preservation and Rehabilitation

- The roof form (its gambrel roof with shed dormers) will be **preserved**, as will its usable gutters. Any in need of repair will be **replaced in-kind**.
- The roofing and drainage will be **rehabilitated** with a new roof being installed (light grey-brown asphalt shingles are acceptable to mimic cedar shingles) and a new below-ground drainage system installed in its new location. These should be regularly monitored and maintained to ensure their ongoing good condition.



Fig. 11a (top right): Rear view of 13761 Grosvenor Road, 2024, showing the condition of the roof, in particular the moss growth (outlined in red). (Source: Luxton)

Fig. 11b (bottom left): Front view of 13761 Grosvenor Road, 2024, showing the condition of the roof, in particular chipped shingles (outlined in red) and some streaking. (Source: Luxton)

Fig. 12 (bottom right): View of one of the disconnected downspouts, 2025. (Source: Cummer)

6.3 CHIMNEYS

There are two brick chimneys on the house in good to fair condition; one in the centre of its roof and the other along the side elevation with a full-length exterior (which is in largely good condition, considering its age and exposure to the elements). Both chimneys are in need of repairs, in particular, the above the roofline sections with abundant organic growth in places, signs of cracking, loss of mortar and possible signs of efflorescence (Figs. 13).



Fig. 13a: View of the side elevation brick chimney, 2025, showing its fair condition at the top and its largely good condition along the side. (Source: Cummer)

Chimneys Conservation Strategy

Preservation and Restoration

- The main, larger chimney will be **preserved** and **restored**, as needed. The smaller chimney in the middle of the roof will be removed.
- The side chimney should be inspected by a certified professional and carefully documented prior to relocation, so that (if needed) it can be rebuilt once the house is at its new location, using the original bricks, in their original pattern.
- If any bricks are too deteriorated to use in rebuilding the chimney after relocation, bricks from the middle chimney should be kept, cleaned and repurposed to restore the side chimney with all original bricks.
- After relocation, the chimney should be regularly monitored and periodically repointed to avoid it needing to be rebuilt again at a later date.

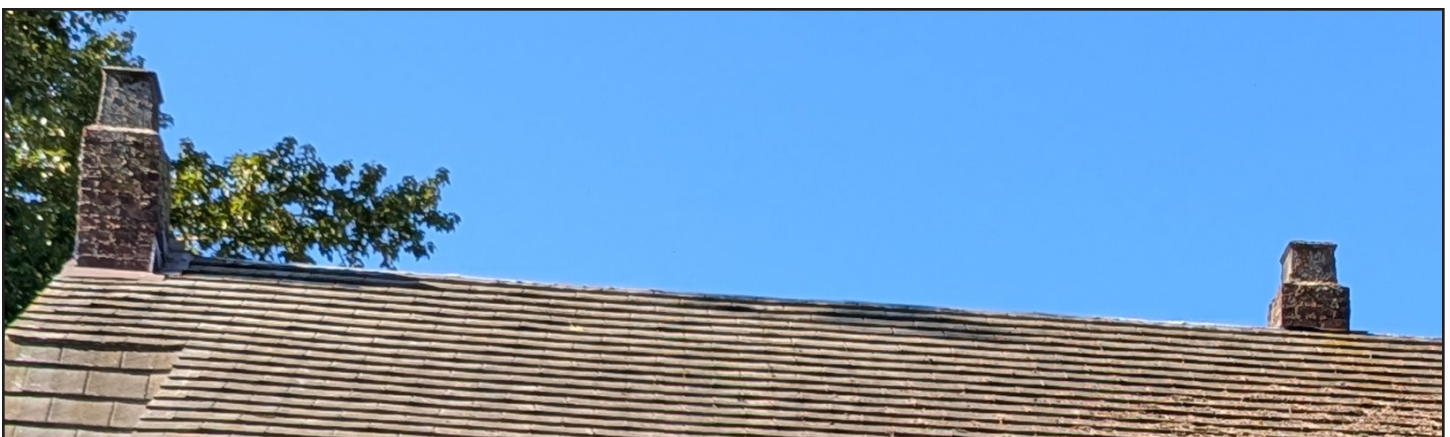


Fig. 13b: View of the two brick chimneys above the roofline, 2025, showing their fair condition, particularly the one in the middle of the roofline. (Source: Cummer)

6.4 WOOD ELEMENTS

Many of the original wood elements on the house have simply been covered by vinyl (such as the fascia, siding and soffits). The few visible exterior wood elements appear to be in largely good, usable condition (Figs. 14).



Wood Elements Conservation Strategy

Preservation and Restoration

- Wood elements will be **restored**, fully revealed and **preserved**. If any elements should need replacement, these should be **replaced, in-kind**. Any new sections should match the existing originals.
- Once revealed, wood should be repainted to refresh and **restore** the look of the house and to provide better protection to these features. Colours are to match existing.
- If the vinyl soffit removal at the front of the house reveals remnants of porch posts, these should be restored, based on the visible shape and dimensions discernible beneath.

Figs. 14a and 14b: (Top) View of some of the visible wood elements, 2026, including fascia and soffits. (Bottom) Closer view of the original closed wood soffits beneath the vinyl. (Source: Dhaliwal)

6.5 CLADDING

Using an exploratory opening, it has been determined that the original wood siding of the house is extant and was simply covered by the current vinyl siding (Figs. 15).

Cladding Conservation Strategy

Preservation and Restoration

- The wood siding should be **restored**, fully revealed and **preserved**. If any sections or boards need replacement, they should be **replaced in-kind**. Any new sections should match the existing originals, including the corner detailing.
- The siding should be cleaned using the gentlest means possible (do not use power-washing or harsh chemical cleaners, as this can damage the building), and repainted.



Figs. 15a and 15b: (Left) View of the exploratory opening revealing the extant wood siding, 2026. (Right) View of the corner detailing, showing it was originally likely mitred rather than with corner boards. (Source: Dhaliwal)

6.6 WINDOWS AND DOORS

Unfortunately, all of the windows and doors are currently boarded up. It is therefore difficult to determine their current condition. However, in 2018, many of the windows appeared original and in largely good condition, overall (Figs. 7 above and Fig. 16 below), with minor repairs needed on some (Fig. 17). The front door and window assembly was also in good condition then (Fig. 18). The rear windows are in poor condition, with many having been broken by vandals.

Windows and Doors Conservation Strategy Preservation and Restoration

- The windows will be **preserved**, wherever possible. Deteriorated elements should be repaired and **restored**, as needed. If any are too damaged to repair, they should be **replaced, in-kind**.
- Each window should be checked to ensure they are weather tight, reputting and weather-stripping, as needed.
- The front door and flanking windows on the ground floor of the house will be **preserved**.
- The vinyl window shutters will be **restored** back to wood, matching existing dimensions, profile and colour.

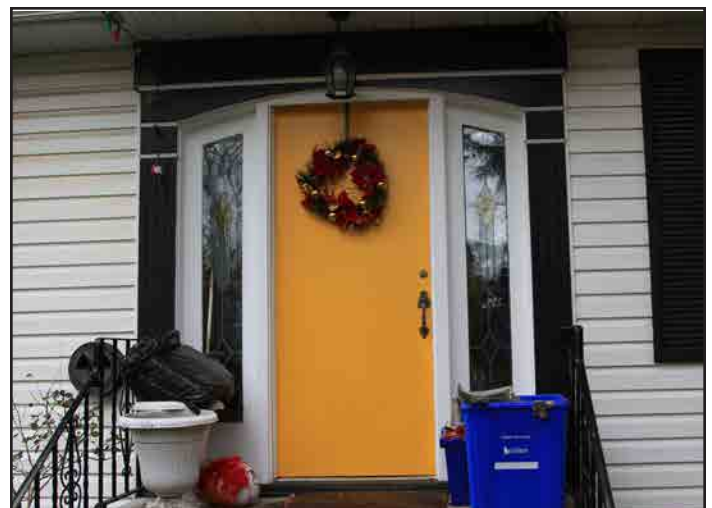


Fig. 16 (above): View of the upper level windows on the front facade, 2018, in good condition. (Source: DLA)

Fig. 17 (bottom left): View of the lower level, left-hand side window, 2018, in need of repairs. (Source: DLA)

Fig. 18 (bottom right): View of the front door with its flanking windows, 2018, in good condition. (Source: DLA)

6.7 LANDSCAPING

Having been vacant for some time, there is abundant overgrowth on site that should be removed. There is some growing on the house (Fig. 19) and very close to the house (Fig. 20), which should be discouraged, for fear of damaging the structure, its foundations and/or finishes.

Landscaping Conservation Strategy Rehabilitation

- The current landscaping will, for the most part, be **rehabilitated** and removed to facilitate the new development on site.
- An arborist should be consulted with regards to the large trees on site, prior to any removals.
- After relocation and construction of the new development, any additional landscaping being added to the site should be native plant species appropriate for the historic context and should have a minimum 2-ft clearance between the vegetation and the building face. This is preferable to ensure there is sufficient space from the structure and to remove any threat to the foundation or the building's finishes over time.

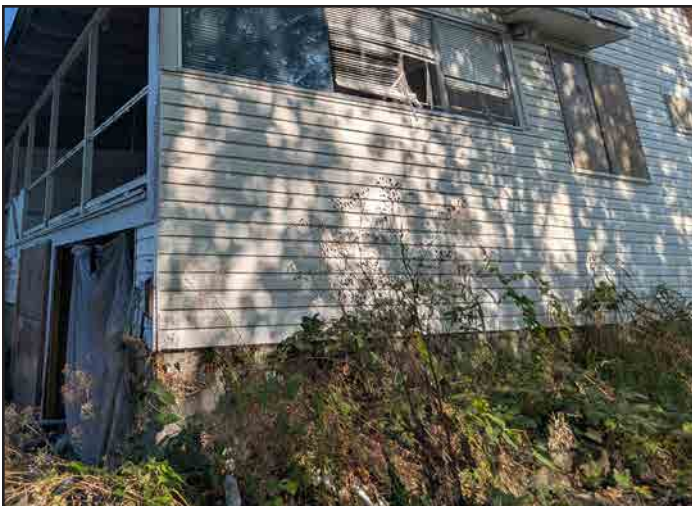
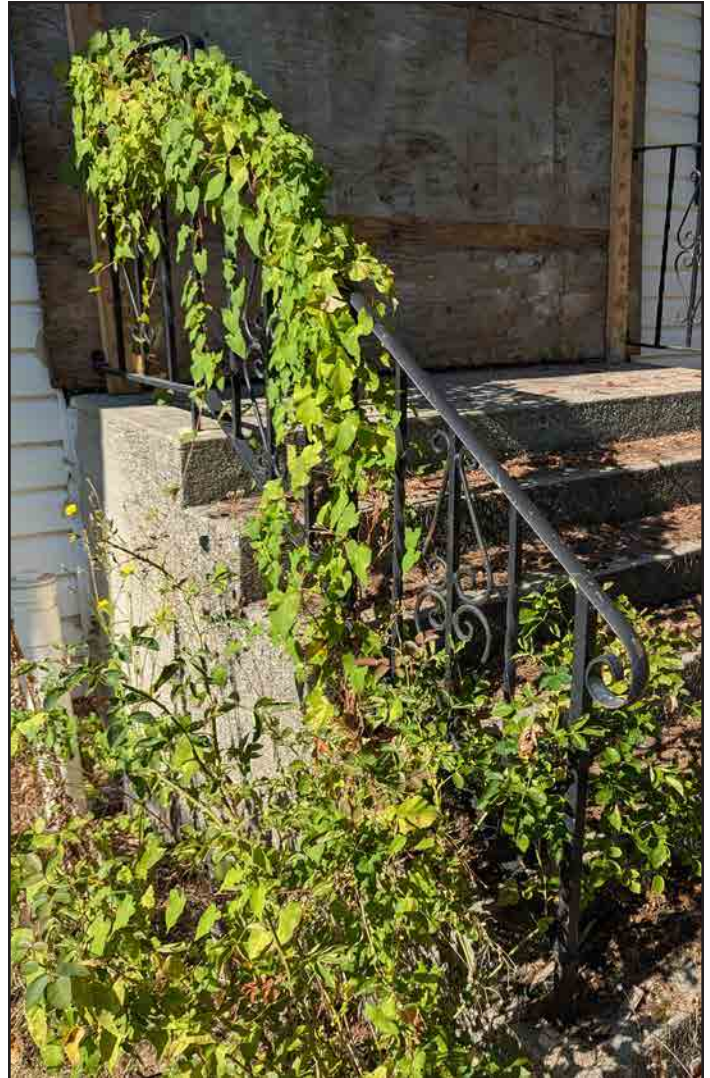


Fig. 19 (above): View of the front steps with vines growing on them, 2025. (Source: Cummer)
Figs. 20a and 20b: Views of the back and front of the property, showing the abundant overgrowth on site, 2025. (Sources: Cummer)

7.0 MAINTENANCE PLAN

Following completion of the outlined conservation work, the owner must maintain the building and land in good repair and in accordance with generally accepted maintenance standards. All work should follow the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2nd Edition). As with the Heritage Conservation Plan, the maintenance standards apply only to the exterior of the building.

As general upkeep is frequently overlooked and will lead to the deterioration of heritage resources,

maintenance standards warrant special attention to help to extend the physical life of a heritage asset. Any building should be kept in a reasonable condition so that it continues to function properly without incurring major expenses to repair deterioration due to neglect. The most frequent source of deterioration problems is from poorly maintained roofs, rainwater works and destructive pests.

It is important to establish a maintenance plan using the information below:

Site

- Ensure site runoff drainage is directed away from the building.
- Maintain a minimum 2-ft clearance between vegetation and building face and a 12-inch-wide gravel strip against the foundation in planted areas, if possible.
- Do not permit vegetation (such as vines) to attach to the building.

Foundation

- Review exterior and interior foundations, where visible, for signs of undue settlement, deformation or cracking.
- If encountered, seek advice from a professional Engineer, immediately.
- Ensure perimeter drainage piping is functional.
- Arrange a professional drainage inspection every three to five years.

Windows and Doors

- Replace cracked or broken glass as it occurs.
- Check satisfactory operation of windows and doors. Poor operation can be a sign of building settlement distorting the frame or sashes or doors may be warped.
- Check condition and operation of hardware for rust or breakage. Lubricate annually.
- Inspect weather stripping for excessive wear and integrity.

Wood Elements

- Maintaining integrity of the exterior wood elements is critical in preventing water ingress into the building. Annual inspection of all wood elements should be conducted.
- Closely inspect highly exposed wood elements for deterioration. Anticipate replacement in kind of these elements every 10 to 15 years.
- Any signs of deterioration should be identified and corrective repair/replacement action carried out. Signs to look for include:
 - Wood in contact with ground or plantings;
 - Excessive cupping, loose knots, cracks or splits;
 - Open wood-to-wood joints or loose/missing fasteners;
 - Attack from biological growth (such as moss or moulds) or infestations (such as carpenter ants);
 - Animal damage or accumulations (such as chewed holes, nesting, or bird/rodent droppings). These should be approached using Hazardous Materials procedures; and
 - Signs of water ingress (such as rot, staining or mould).
- Paint finishes should be inspected every three to five years and expect a full repainting every seven to ten years. Signs to look for include:
 - Bubbling, cracks, crazing, wrinkles, flaking, peeling or powdering; and
 - Excessive fading of colours, especially dark tones.

Roofing and Rainwater Works

- Inspect roof condition every five years, in particular looking for:
 - Loose, split or missing shingles, especially at edges, ridges and hips;
 - Excessive moss growth and/or accumulation of debris from adjacent trees; and
 - Flashings functioning properly to shed water down slope, especially at the chimneys.
- Remove roof debris and moss with gentle sweeping and low-pressure hose.
- Plan for roof replacement at around 18 to 22 years.
- Annually inspect and clean gutters and flush out downspouts. Ensure gutters positively slope to downspouts to ensure there are no leaks or water splashing onto the building.
- Ensure gutter hangers and rainwater system elements are intact and secure.
- Ensure downspouts are inserted into collection piping stub-outs at grade and/or directed away from the building onto concrete splash pads.

General Cleaning

- The building exterior should be regularly cleaned depending on build up of atmospheric soot, biological growth and/or dirt up-splash from the ground. Cleaning prevents build up of deleterious materials, which can lead to premature and avoidable maintenance problems.
- Windows, doors and rainwater works should be cleaned annually.
- When cleaning always use the gentlest means possible, such as soft bristle brush and low-pressure hose. Use mild cleaner if necessary, such as diluted TSP or Simple Green ©.
- Do not use high-pressure washing as it will lead to excessive damage to finishes, seals, caulking and wood elements and it will drive water in wall assemblies and lead to larger problems.

8.0 CONCLUSION

With the above in mind, from a heritage professional perspective, the proposed work on 13761 Grosvenor Road appears to be an appropriate intervention considering the site conditions and occupant needs. The work does not impact the heritage value of the historic place. Instead, it provides an opportunity to revitalize an important asset for the community, making it more visible in the streetscape, while also providing much needed additional housing to the neighbourhood.

If you have any further questions or would like me to clarify anything, please feel free to contact me. Thank you.

Sincerely,



Katie Cummer, PhD CAHP

Principal, Cummer Heritage Consulting

February 6, 2026

9.0 REFERENCES

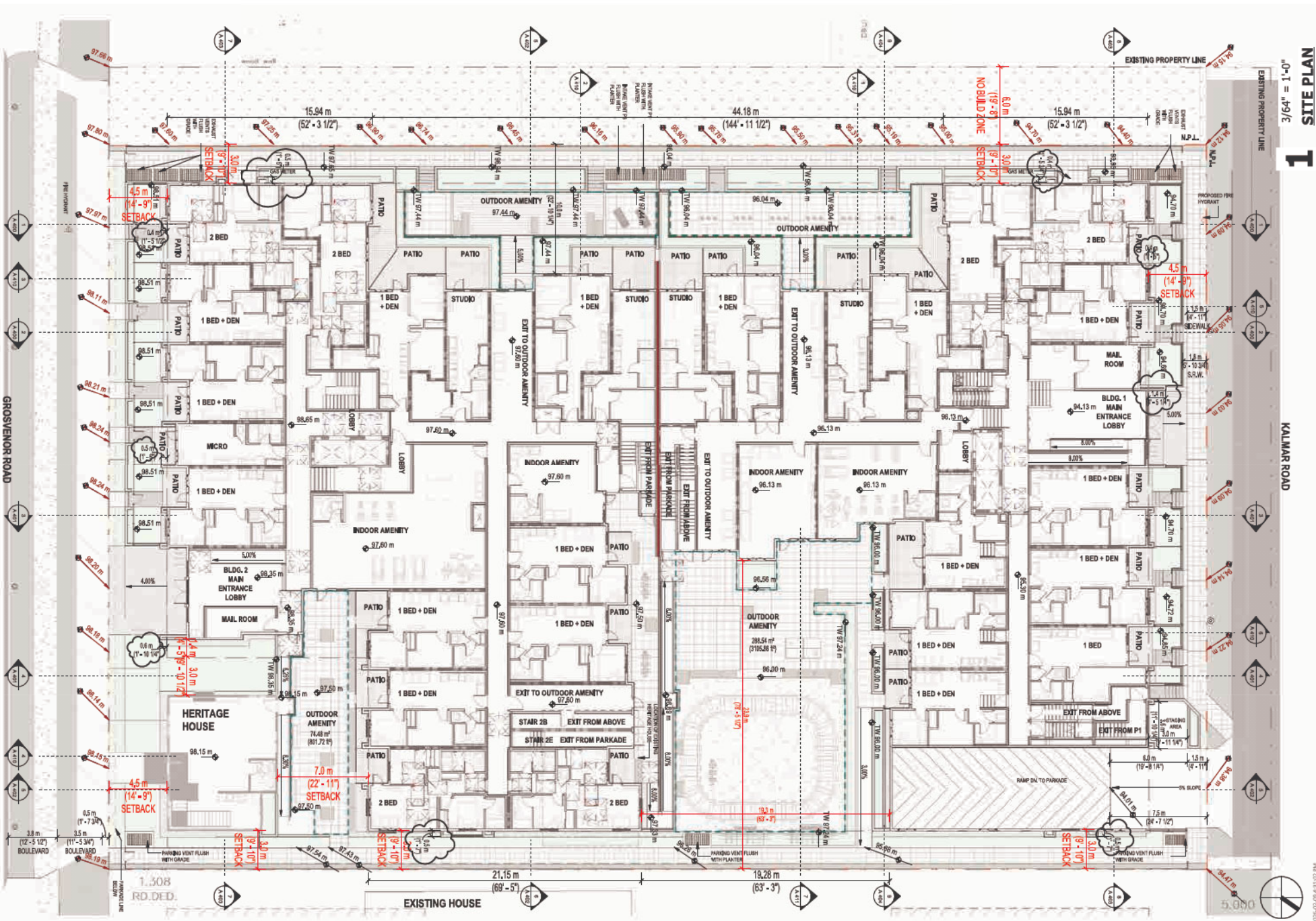
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CUMMER HERITAGE CONSULTING

KATIE CUMMER, PHD CAHP
KCUMMER@GMAIL.COM
(778) 678 1913

WWW.CUMMERHERITAGECONSULTING.COM



1 SITE PLAN
3/64" = 1'-0"

FLAT1 ARCHITECTURE INC.

Unit 206-6321 King George Blvd
Surrey BC, V3X 1G1
www.flat1architecture.ca
contact@flat1architecture.ca
Ph: 604-603-4484



PROJECT NAME: APARTMENT DEVELOPMENT
PROJECT ADDRESS: 13753, 13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT: GEMANIS PROPERTIES

DATE: 08/02/2018
PROJECT NO.: 14112
SCALE: 3/64" = 1'-0"
DRAWN BY: A.R.C.
CHECKED BY: R.W.

REV	DESCRIPTION	DATE
4	DP Revision	08/02/2018
3	DP Revision	03/02/2018
1	DP Submission	06/08/2015
2	DP Revision	03/12/2015

REV	DESCRIPTION	DATE
4	DP Revision	08/02/2028
3	DP Revision	03/02/2028
1	DP Submission	06/08/2025
2	DP Revision	03/12/2025



SITE ELEVATION - EAST
3/64" = 1'-0" **2**



SITE ELEVATION - NORTH
3/64" = 1'-0" **1**

2026-02-01 14:30:30.94

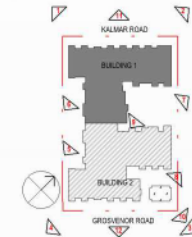


SITE ELEVATION - WEST
3/64" = 1'-0" **4**



SITE ELEVATION - SOUTH
3/64" = 1'-0" **3**

2026-02-01 10:30 AM



Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flat1architecture.ca
contact@flat1architecture.ca
Ph: 604-503-4484



PROJECT NAME: APARTMENT DEVELOPMENT
PROJECT ADDRESS: 13753, 13761 GROSVENOR ROAD, SURREY, B.C.
CLIENT: GENARIS PROPERTIES

DATE: 09/10/2025
PROJECT NO: 24-212
SCALE: 1" = 200' 0"
DRAWN BY: A.R.C.
CHECKED BY: R.W.

REV	DATE	DESCRIPTION
4	09/10/2025	DP Revision
3	03/02/2025	DP Revision
1	06/08/2025	DP Submission
2	03/12/2025	DP Revision

2025-09-10 11:40:15 AM

SCHEMATIC VIEW

A 707



11. VIEW FROM KALMAR ROAD



FLATi
ARCHITECTURE INC.

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Surrey BC, V3X 1G1
www.flatiarchitecture.ca
contact@flatiarchitecture.ca
Ph: 604-603-4484



PROJECT NAME:
APARTMENT DEVELOPMENT

PROJECT ADDRESS:
13753, 13761 GROSVENOR ROAD, SURREY,
B.C.

CLIENT:
GEMANIS PROPERTIES

DATE:
08/02/2025

PROJECT NO.:
16412

SCALE:
1" = 20'-0"

DRAWN BY:
A.R.C.

CHECKED BY:
R.W.

REV	DATE	DESCRIPTION
4	08/02/2025	DP Revision
3	03/02/2025	DP Revision
1	06/01/2025	DP Submission
2	03/12/2025	DP Revision
REV		DESCRIPTION

SCHEMATIC VIEW

A 708



12. VIEW FROM GROSVENOR ROAD

2025-05-01 10:13 AM

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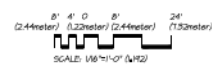
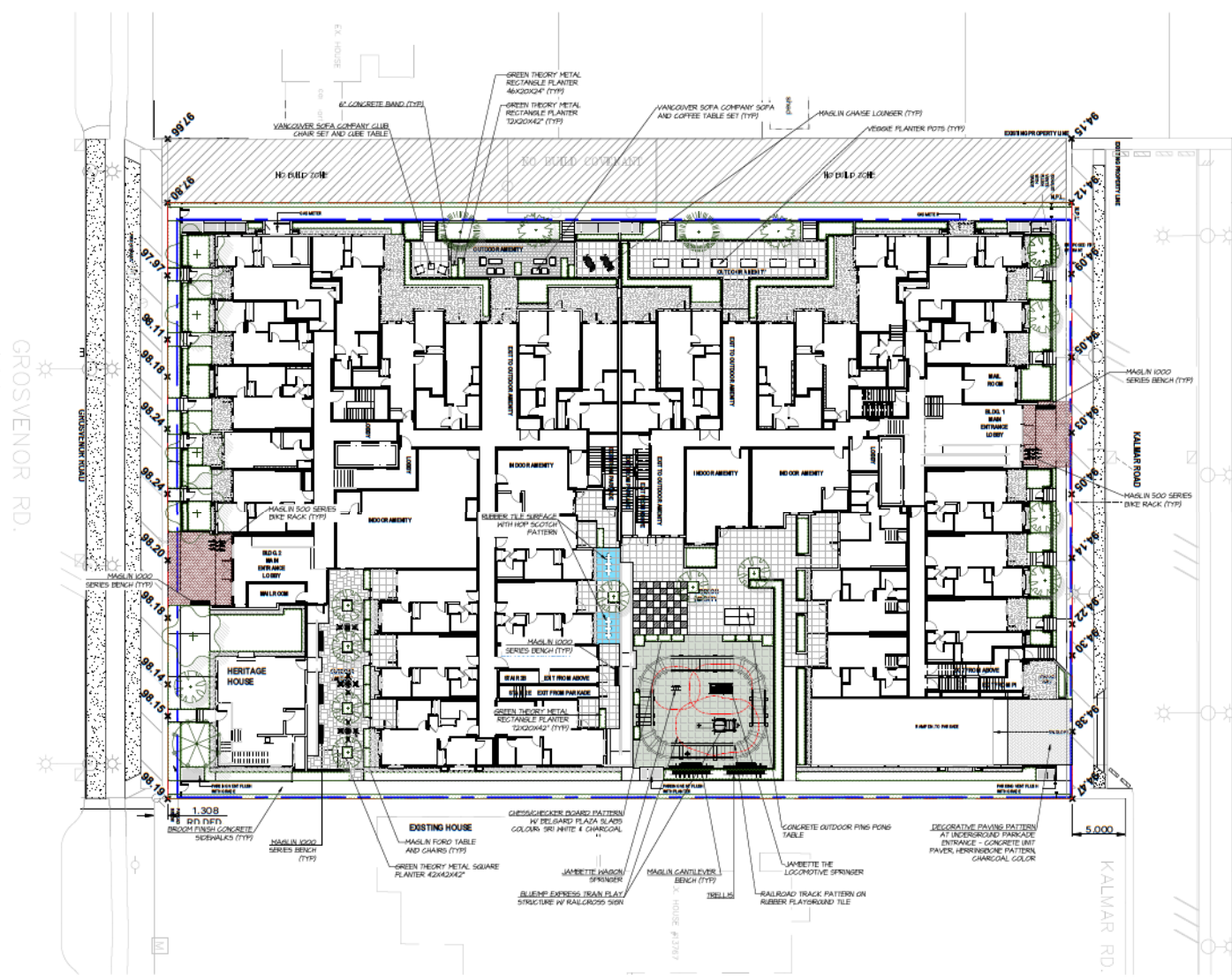
LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



- PLAN KEY**
- SITE PROPERTY LINE
 - - - P1 PARKADE SLAB OUTLINE
 - - - LEVEL 2 OVERHANG OUTLINE

- LANDSCAPE FINISH**
- BELGARD CLASSIC STANDARD PAVERS COLOR: HARVEST
 - BELGARD CLASSIC STANDARD PAVERS COLOR: SPANISH
 - BELGARD TEKADA SLAB COLOR: NATURAL
 - BELGARD TEKADA SLAB COLOR: CHARCOAL
 - RUBBER TILE COLOR: RED
 - BELGARD CLASSIC PAVES DOUBLE STANDARD PATTERN COLOR: HARVEST
 - DRIP STRIP
 - CLEAR ROUND STONE
 - 2x2" RUBBER PLAYGROUND TILE COLOR: GREEN
 - SOIL LAWN
 - CONCRETE



NO.	DATE	REVISION DESCRIPTION	DR.
3	2025-01-22	REVISION PER CITY COMMENTS	GH
4	2025-01-22	RE-ISSUED FOR DP	GH
5	2025-01-22	RE-ISSUED FOR DP	GH
6	2025-01-22	RE-ISSUED FOR DP	GH
7	2025-01-22	ISSUE FOR DP	GH

PROJECT:

APARTMENT DEVELOPMENT
13753 & 13761
GROSVENOR RD
SURREY, BC

DRAWING TITLE:
LAYOUT PLAN

DATE: 2025-01-22	DRAWING NUMBER:
SCALE: 1/8"=1'-0"	L2
DRAWN: GH	OF 8
DESIGN: GH	
CHECK: GH	

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **February 12, 2026**

PROJECT FILE: **7825-0164-00**

RE: **Engineering Requirements**
Location: 13753 and 13761 Grosvenor Rd

CITY CENTRE PLAN AMENDMENT

There are no engineering requirements relative to the City Centre Plan Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.308m along Grosvenor Rd frontage.
- Dedicate 5.032m along Kalmar Rd frontage.
- Register 1.8m wide on-site statutory rights-of-way along Kalmar Rd frontage.

Works and Services

- Construct north side of Grosvenor Rd.
- Construct south side of Kalmar Rd.
- Construct sanitary mains along Grosvenor Rd and Kalmar Rd.
- Construct storm mains along Grosvenor Rd and Kalmar Rd.
- Construct off-site road works, sanitary mains, storm mains, and water mains if construction is not completed by project 7817-0544-00.
- Construct adequate sanitary, storm, and water service connections to the site.
- Register applicable restrictive covenants.

A Servicing Agreement is required prior to Rezone/Subdivision. A Processing Fee is required.

DEVELOPMENT PERMIT

There are no engineering requirements related to issuance of the Development Permit.



Jeff Pang, P.Eng.
Director, Land Development

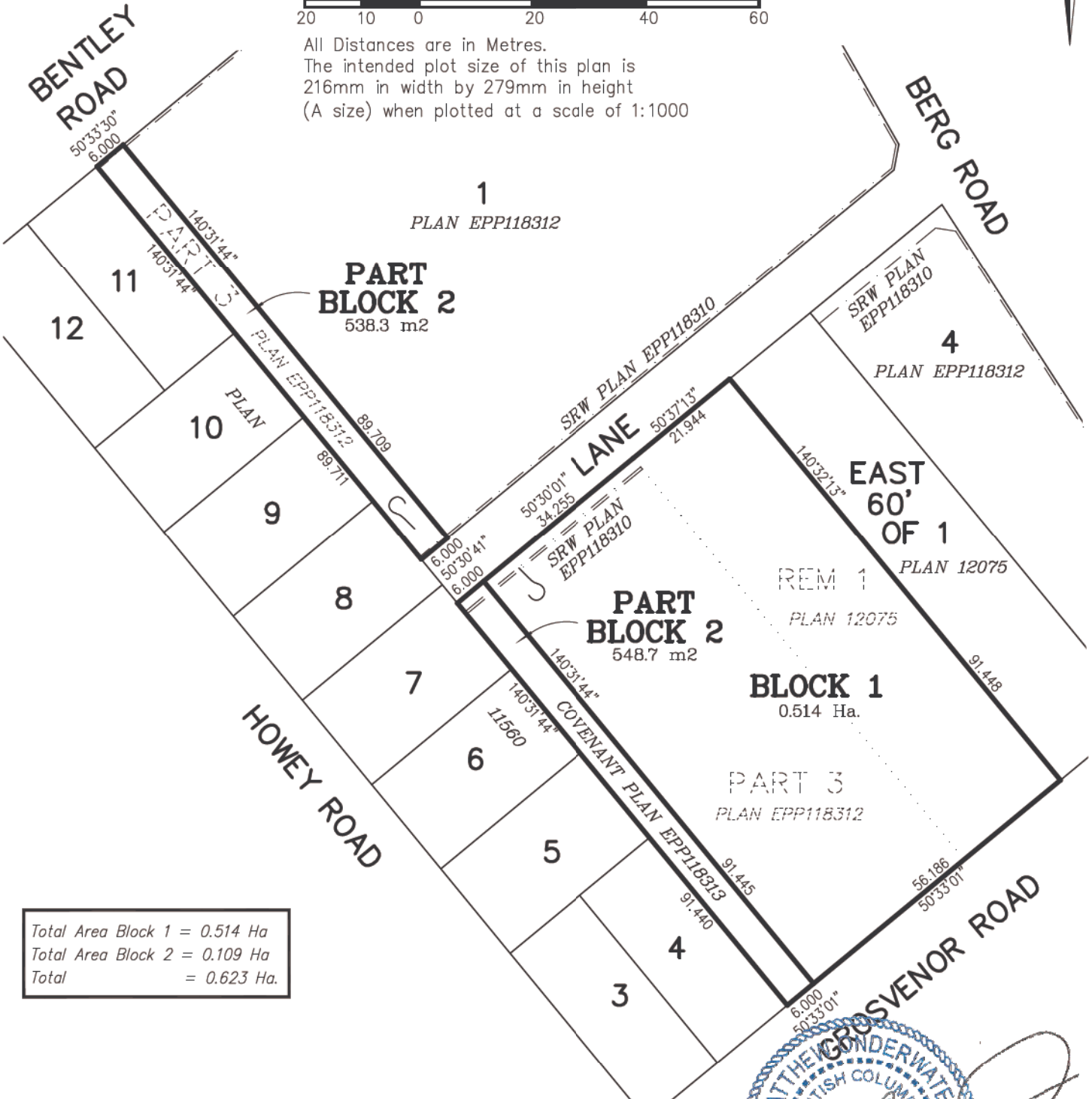
HB4

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW #_____ OF LOT 1 EXCEPT: THE EASTERLY 60 FEET THEREOF SAID 60 FEET HAVING A FRONTAGE OF 60 FEET ON GROSVENOR ROAD WITH A UNIFORM WIDTH THE FULL DEPTH OF SAID LOT 1 AND ADJOINING LOT 6 PLAN 5392, PLAN 12075, AND LOT 3, PLAN EPP118312, BOTH OF SECTION 14, BLOCK 5 NORTH, RANGE 2 WEST, N.W.D.

CIVIC ADDRESS:
 13751 AND 13761
 GROSVENOR ROAD
 SURREY, B.C.
 P.I.D.S.:
 031-892-655
 001-761-099



All Distances are in Metres.
 The intended plot size of this plan is 216mm in width by 279mm in height (A size) when plotted at a scale of 1:1000

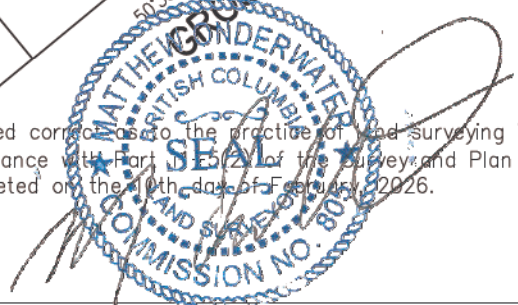


Total Area Block 1 = 0.514 Ha
 Total Area Block 2 = 0.109 Ha
 Total = 0.623 Ha.

Onderwater Land Surveying
 B.C. Land Surveyors
 #104 - 5830 176 'A' Street
 Cloverdale B.C.
 WWW.ONDERWATER.CA
 FILE: SR25-40_RZ1

Certified correct as to the practice of land surveying in accordance with Part 15(2) of the Survey and Plan Rules. Completed on the 10th day of February, 2026.

©



This document is not valid unless digitally or originally signed and sealed.

B.C.L.S.

7.0 TREE PRESERVATION SUMMARY

Surrey Project No: N/A

Address: 13453 & 13761 Grosvenor Rd, Surrey

Registered Arborist: Francis Klimo

Date of Report/Revision: March 5, 2025

Arborist signature: *Francis Klimo*

All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the Arborist report

On-Site/Shared Trees	Number of Trees
Existing Bylaw Sized Trees	37
Proposed Removed Bylaw Trees	36
Proposed Retained Bylaw Trees	1
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio	
Removed	Subtotal
21 X 1 =	21
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
0 X 2 =	0
All other Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
16 X 2 =	32
Required Replacement Trees	53
Proposed Replacement Trees	TBD
Deficit of Replacement Trees	TBD
Total On-site Retained and Replacement Trees	TBD

Off-Site Trees	Number of Trees
Existing Bylaw Sized Trees	0
Proposed Removed Bylaw Trees	0
Proposed Retained Bylaw Trees	0
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio	
Removed	Subtotal
0 X 1 =	0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
0 X 2 =	0
All other Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
0 X 2 =	0
Required Replacement Trees (to be taken as Cash in Leu)	0
Total Off-site Retained Trees	0

City Trees	Existing	Removed	Retained
Park/City Lot Trees	0	0	0
Boulevard Trees	0	0	0
Total	0	0	0

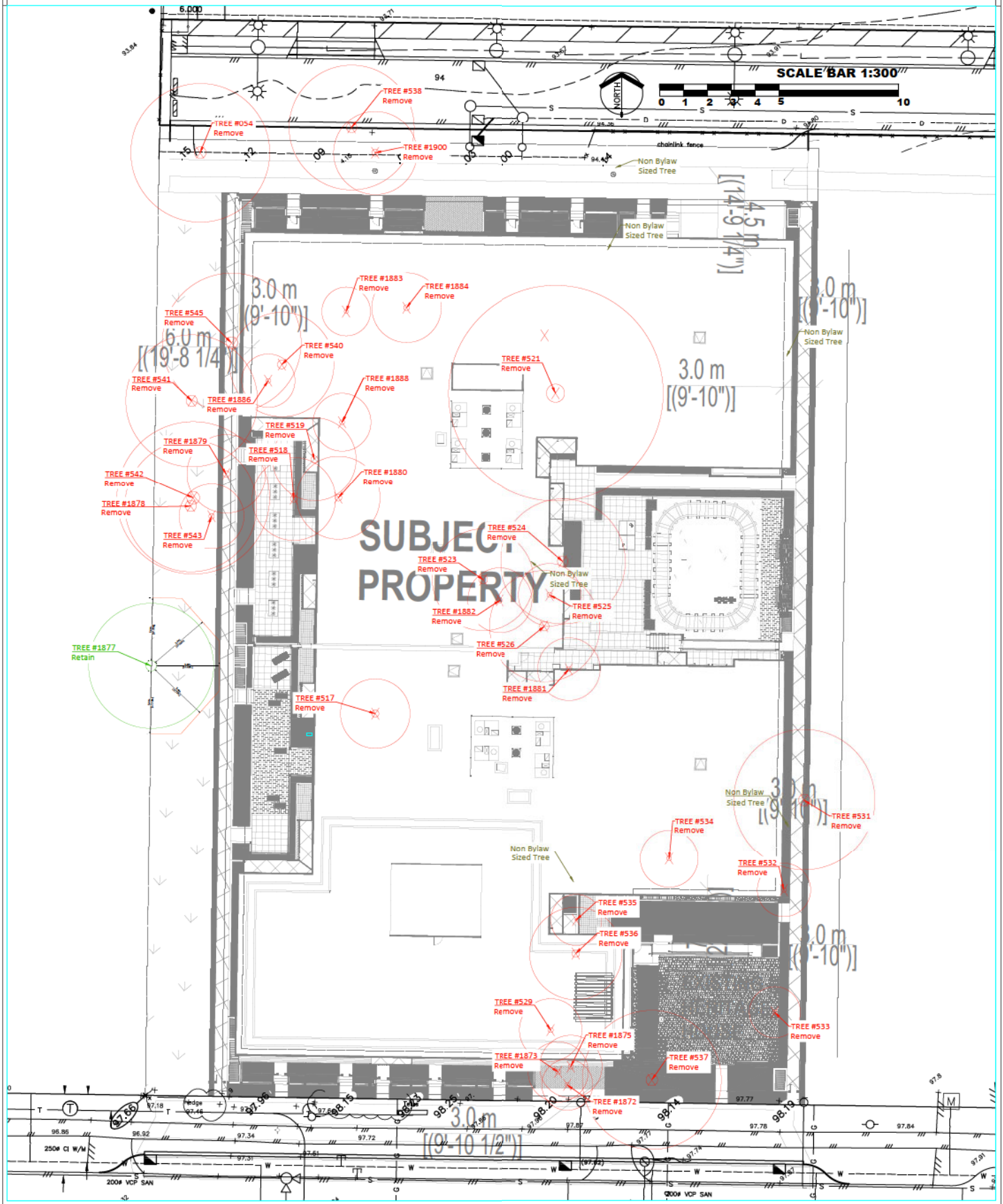
13453-13761 GROSVERNOR ROAD, SURREY

Project Title
TREE MANAGEMENT PLAN
Project Number

Francis R. Klimo
ISA Certified Arborist #PN-8149A
ISA Certified Tree Risk Assessor (TRAQ)
BC Wildlife Danger Tree Assessor #7193

Revisions	
No.	Date
	March 5, 2025

Scale 1:150
Drawn Dimitri Khramko



Department: **Planning and Demographics**
 Date: **August 12, 2025**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **25-0164**

The proposed development of **238** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	37
---	----

Projected Number of Students From This Development In:	
Elementary School =	21
Secondary School =	10
Total Students =	31

Current Enrolment and Capacities:	
Forsyth Road Elem	
Enrolment	500
Operating Capacity	317
# of Portables	8
Kwantlen Park Sec	
Enrolment	1675
Operating Capacity	1200
# of Portables	15

Summary of Impact and Commentary

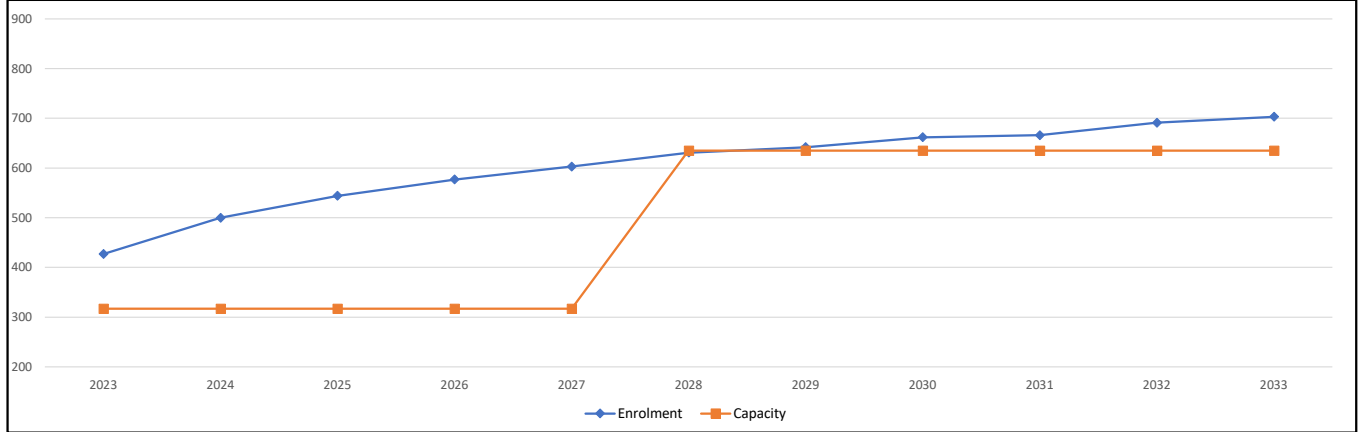
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2024, Forsyth Road Elementary is at 158% capacity. Given the densification of the City Centre surroundings, the school is projected to nearly double its current student enrolment over the next 10 years.

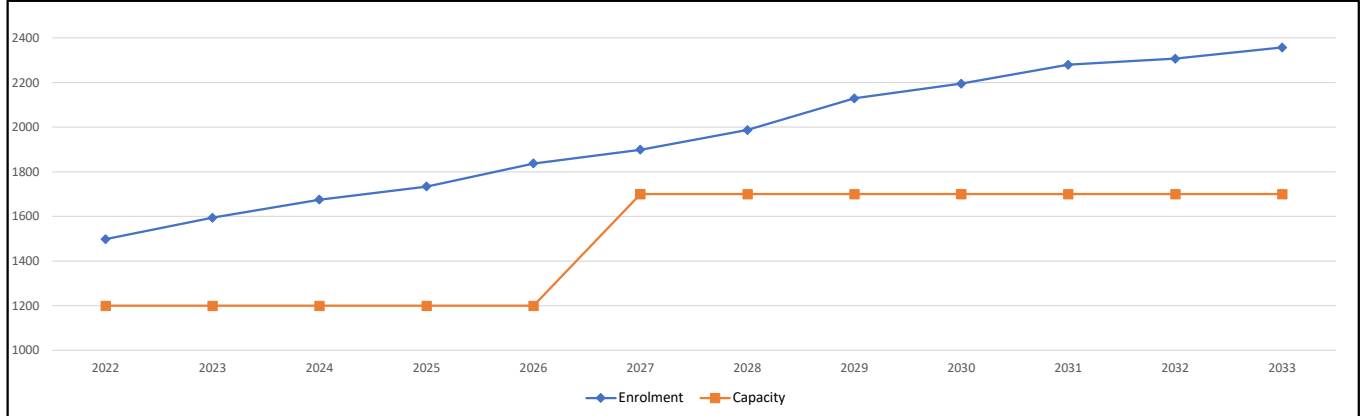
The Ministry of Education and Child Care has approved and funded an expansion for 317 more students. The addition is targeted to open Fall 2028.

As of September 2024, Kwantlen Park Secondary is currently operating at 140% and is projected to grow significantly over the next 10 years. In February 2023, the District received capital funding approval from the Ministry of Education and Child Care to build a 500-capacity addition, targeted to open in the spring of 2028. However, additional measures will also be required to address the future growth.

Forsyth Road Elem



Kwantlen Park Sec



Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.



Surrey Heritage Advisory Commission - Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
WEDNESDAY, JANUARY 14, 2026
Time: 5:00 p.m

Present:

Councillor Stutt, Chair
M. Hilmer
F. Lou
P. Priddy
J. Ring
W. Tracey

Absent:

Staff Present:

K. Hardie, Manager, Heritage Services
K. Baglo, Heritage Planner
B. Haney, Transportation Planner
V. Ng, Legislative Services Coordinator

A. ADOPTIONS

1. Adoption of the Agenda

It was Moved by Commissioner Priddy
Seconded by Commissioner Tracey
That:

1. The agenda of the Surrey Heritage Advisory Commission meeting held on January 14, 2026, be amended to add Item C.3(a): report regarding the - McCurdy Residence at 13761 Grosvenor Road Proposed Rezoning and Heritage Revitalization Agreement (HRA); and
2. The agenda be adopted as amended.

Carried

2. Adoption of the Minutes

It was Moved by Commissioner Ring
Seconded by Commissioner Hilmer
That the minutes of the Surrey Heritage
Advisory Commission meeting held on November 19, 2025, be adopted.

Carried

B. DELEGATION

King George Boulevard Bus Rapid Transit Project

Klassen Mok, Senior Manager, Bus Rapid Transit, Translink
Juliana Craig, Communications & Public Affairs Lead, Translink

The delegation provided a presentation regarding the King George Boulevard Bus Rapid Transit (BRT) Project. The following information was highlighted:

- The bus rapid transit was designed to deliver fast and reliable service by utilizing dedicated transit lanes and transit signal priority. Dedicated transit lanes allow busses to run in their own space separated from traffic and bypass any potential road congestion.
- The King George Boulevard BRT will provide rapid transit between Surrey Centre and Semiahmoo Town centre focusing on faster transit services with dedicated transit lanes, increase in frequency of busses and access to key town centres including Newton Town Centre and the South Surrey park and ride.
- There are 132 English Red Oak heritage trees, which were originally planted in 1937, located between 11 Avenue and 34 Avenue. Based on the early design, up to 7 trees will potentially be impacted due to the addition of right and left turn lanes and widening of intersections and will be subject to an arborist review. No action will be taken until the construction phase, which Translink anticipates will be no earlier than 2027 following the completion of the planning and design phase. Translink is also committed to replace any trees in a 2:1 ratio.

In response to questions from the Commission, the delegation provided the following information:

- As the project is in its planning stages, the proposal to replace the trees with seedlings from the original trees can be considered if a tree was to be removed, thus preserving the history.
- The public engagement included posting digitally on their websites, mailouts with a one kilometer radius from the corridor, and three open houses were planned around Surrey.
- Priority to replace any potential removed trees will be along the corridor.

C. NEW BUSINESS

1. PARKS, RECREATION & CULTURE

(a) Storyboard Updates

The Manager, Heritage Services provided a verbal update regarding the Storyboard project. The following information was highlighted:

- A draft design showing an aerial photograph of King George Highway from the 1960s was presented to the Commission. This design will replace the current Newton Senior Centre storyboard. It was identified for replacement after the storyboard at the Newton Library was updated.

- Ocean Park Community Association will be celebrating their 100th anniversary and had requested Heritage Services to update the current storyboard in front of the Ocean Park Hall, which tells the overall history of the area. The direction of the new storyboard shares the stories, people and the happenings within the Hall.

In response to questions from the Commission, staff provided the following information:

- The original advisory group from the Newton library's storyboard was used for the new senior centre storyboard, with the addition of staff from the seniors centre itself. The Manager, Heritage Services has taken note of the Commission's feedback to the storyboard.

(b) Sharing Pattullo Bridge History

The Manager, Heritage Services provided a verbal update regarding the Pattullo Bridge history. The following information was highlighted:

- At the November 19, 2025 SHAC meeting, the Commissioners discussed the possibility of having the Museum of Surrey create an exhibit to highlight the history and importance of the Pattullo Bridge. The Museum of Surrey plans featured exhibits three years in advance and cannot accommodate an exhibit on the Patullo Bridge this year.
- The Museum of Surrey does accept proposals every spring from community members for a Community Treasures exhibit that are brought forward to the Heritage Community Advisory Board. Upon approval, exhibits are installed the following year.

In response to questions from the Commission, staff provided the following information:

- The City's Archives team has several historical-themed programs that can be booked by community groups. One relevant program is the history of transportation in Surrey. Should an opportunity arise, the Manager, Heritage Services will convey the message of donating historical artifacts related to the Pattullo Bridge during these programs in hopes that items will be contributed to the City's heritage collections.
- Artwork by Phyllis Atkins from the Kwantlen First Nation is being placed on the new bridge. This is a Provincial project of significance to both New Westminster and Surrey.
- The Manager, Heritage services will explore the suggestion of working with Community Arts to focus a summer artist in residence program on this topic, similar to the Japanese Canadian history program implemented summer 2025.

2. **PLANNING & DEVELOPMENT and PARKS, RECREATION & CULTURE**

(a) **SHAC Task List**

The Heritage Planner and the Manager, Heritage Services provided updates regarding the SHAC Task List. The following information was highlighted:

- Staff reported that the following projects have been completed:
 - The retaining wall and cement stair construction at the Nikaniuk Residence is complete and the cheque has been requested.
 - The window replacement at the Cecil Heppel House is complete and the cheque will be requested.
- Staff recommends that the SHAC Task List be amended by removing the Nikaniuk Residence and the Cecil Heppel House.
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It was Moved by Commissioner Lou
 Seconded by Commissioner Priddy
 That the Surrey Heritage Advisory
 Commission receive the SHAC Task List report for information, as amended.
Carried

3. **PLANNING & DEVELOPMENT**

(a) **McCurdy Residence at 13761 Grosvenor Road – Proposed Rezoning and Heritage Revitalization Agreement (HRA)**

The Heritage Planner presented a report dated January 14, 2026, regarding the McCurdy Residence at 13761 Grosvenor Road – Proposed Rezoning and Heritage Revitalization Agreement (HRA). The following information was highlighted:

- The McCurdy Residence was constructed in 1938 and is valued for its rare Dutch Colonial Revival architecture and its association with its original owner, Henry and his daughter Colleen who both served the country as pilots in the Second World War and Korean War respectively.
- The applicant is proposing to construct two residential buildings with a total of 249 residential units. The proposal includes a development permit, an NCP Amendment and an HRA that will allow the protection, restoration and relocation of the heritage building.
- The applicant has proposed a few alterations, which includes the removal of the vinyl siding to uncover and restore the existing wood siding, removal of the interior brick chimney, and the removal of the non-character defining rear extension to restore the building's original

footprint. The City Architect and the applicant are still working on refining the design of the residential building to ensure compatibility to the McCurdy Residence.

- The accessible entrance is still outstanding and will potentially be added to the rear of the building as this will be the primary point of entrance.

In response to questions from the Commission, staff provided the following information:

- The Heritage Planner will contact the applicant to consider an addition of a plaque or storyboard to the amenity building for historical significance.
- The applicant is retaining the heritage building with no development incentives.

It was

Moved by Commissioner Priddy
Seconded by Commissioner Tracey
That the Surrey Heritage Advisory

Commission (SHAC):

1. Receive this report dated January 14, 2026 as information; and
2. Review the attached proposed Heritage Revitalization Agreement Bylaw for the McCurdy Residence and provide comments to staff; and
3. Recommend to the General Manager, Planning and Development Department, that the Heritage Revitalization Agreement Bylaw for the McCurdy Residence be forwarded to Council for consideration following acceptance by Legal Services and the City Architect.

Carried

D. FINANCIALS

(a) Financial Summary as at November 30 and December 31, 2025.

The Commission reviewed the financial summary as at November 30, 2025.

The December financials were not made ready prior to the start of the meeting and will be brought forward at the next meeting.

E. ROUNDTABLE OF DISCUSSION

A roundtable discussion ensued.

- Commissioner Priddy noted that the Surrey Christmas Bureau has seen an increase of families in need during the economic changes.

- It was announced on the BC Heritage site that two of the City's heritage programs are nominated for awards in 2026. The Re-enactors: Surrey's True Stories has been nominated under the Education, Communication and Awareness category and Totest Aleng: Indigenous Learning house has been nominated under the Indigenous and Diverse Cultures: Reconciliation, Redress and Expanded Recognition category. Winners will be announced at the Heritage BC Conference.
- Commissioner Lou attended the International Archive Conference in November, 2025. Commissioner Lou described some of her experience while attending the conference.
- The program for Heritage Day will be brought forward at the next meeting.

F. NEXT MEETING

The next meeting of the Surrey Heritage Advisory Commission is scheduled for Wednesday, February 11, 2026, at the 2E Community Room B.

Commissioner Priddy and Commissioner Lou left the meeting at 6:17 p.m.

G. MOTION TO HOLD A MEETING IN A CLOSED SESSION

It was	Moved by Commissioner Ring
	Seconded by Commissioner Hilmer
	That the Surrey Heritage Advisory
Commission close the meeting to the public pursuant to Section 90 (1) (a) of the	
<i>Community Charter</i> , which states:	

“(1) A part of a council meeting may be closed to the public if the subject matter being considered relates to or is one or more of the following:

- (a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality.

Carried

F. ADJOURNMENT

It was	Moved by Commissioner Hilmer
	Seconded by Commission Ring
	That the Surrey Heritage Advisory Commission
meeting be adjourned.	

Carried

The Surrey Heritage Advisory Commission meeting adjourned at 6:20 p.m.

Jennifer Ficocelli,
City Clerk and Director Legislative Services

Councillor Stutt, Chairperson

