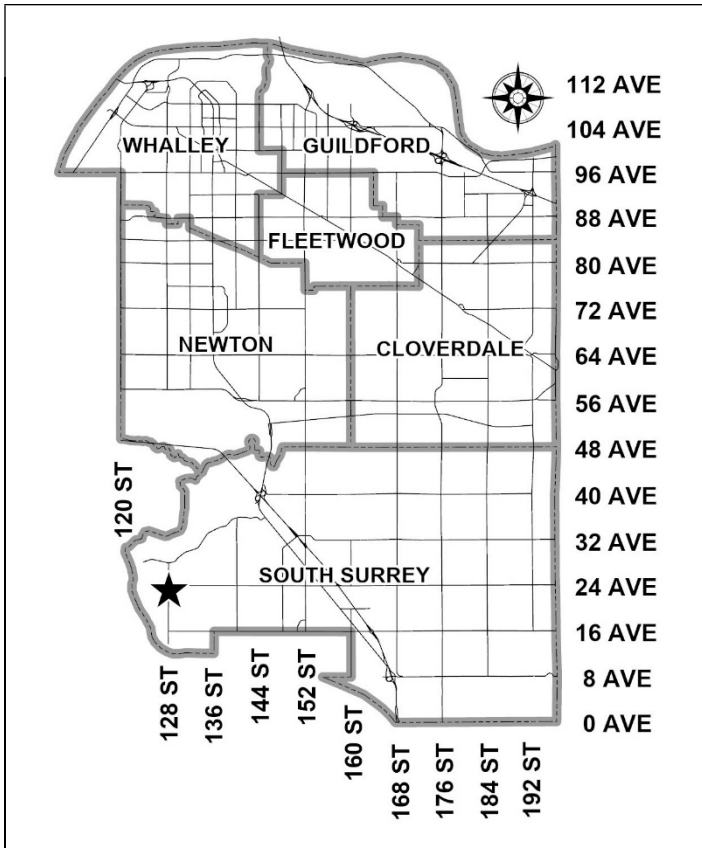


City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7925-0099-00
 Planning Report Date: February 9, 2026



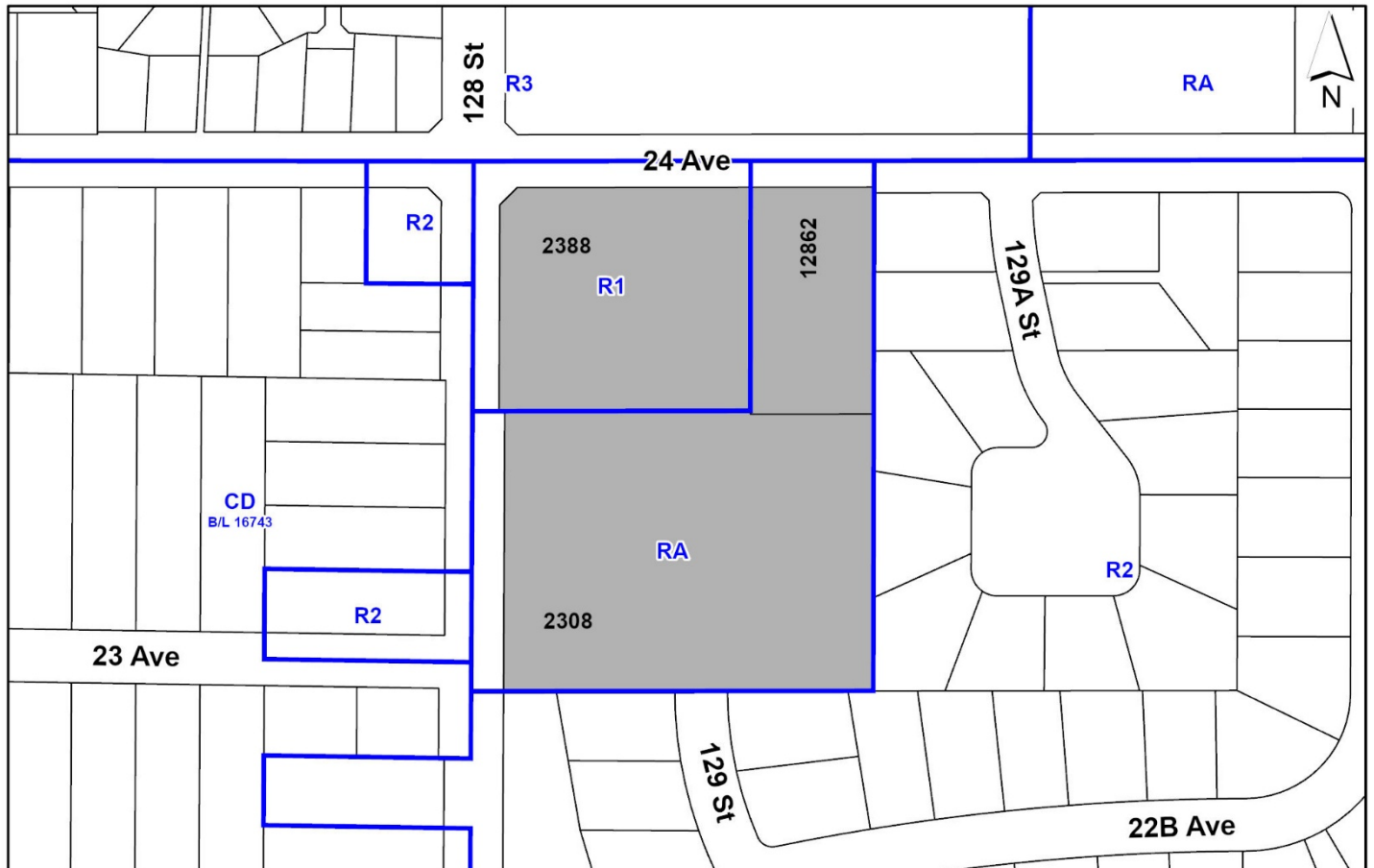
PROPOSAL:

Development of 89 townhouse units.

- **OCP Amendment** to remove the property from Figure 5. Suburban Density Exception Area
- **OCP Amendment** from Suburban to Urban
- **Rezoning** from RA and R1 to RM-15
- **Development Permit**
- **Development Variance Permit**

LOCATION:

2388 128 Street
 2308 128 Street
 12862 24 Avenue



RATIONALE SUMMARY

- The proposed development does not comply with the Official Community Plan (OCP) Suburban land use designation which envisions low-density, single-family residential development.
- The applicant completed a concept plan and yield study to evaluate development potential based on a single family residential lot proposal under the Small Scale Multi Unit Housing (SSMUH) applicable zones.
- Under the Small-Scale Multi-Unit Housing (SSMUH) policy, lots within frequent transit corridors can accommodate 4 to 6 units per lot (for parcel sizes greater than ~280 square metres and less than 4,050 square metres). If the subject site was redeveloped into suburban type “Quarter Acre (R₂) Single Family Residential lots”, this would allow up to a maximum of 27 lots and a maximum of 6 units per lot. The townhouse proposal is an efficient outcome when compared against other lower-density options. The townhouse proposal provides a density that is comparable to typical single family development that include only secondary suites, while offering more compact urban form, efficient land use, and alignment with local growth and transit-oriented objectives.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend the OCP Figure 5: Suburban Density Exception Areas to remove the subject site from the Suburban Density Exception Area (max 2 upa) and a date for Public Hearing be set (Appendix A).
2. A Bylaw be introduced to amend the OCP Figure 3: General Land Use Designations to redesignate the subject site from Suburban to Urban and a date for Public Hearing be set (Appendix A).
3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. A Bylaw be introduced to rezone the subject site from Acreage Residential Zone (RA) and Suburban Residential Zone (R₁) to Multiple Residential 15 Zone (RM-15) and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7925-0099-00 generally in accordance with the attached drawings (Appendix B).
6. Council approve Development Variance Permit No. 7925-0099-00 (Appendix C), varying the following in the Zoning Bylaw to proceed to Public Notification and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance in conjunction with the final adoption of the associated OCP and rezoning bylaws:

- (a) To reduce the minimum front yard (north) setback of the RM-15 Zone for Buildings 1, 11, and 12 from 7.5 metres to 5.0 metres;
 - (b) To reduce the minimum side yard (west) setback of the RM-15 Zone for Buildings 7, 8, 9 and 10 from 7.5 metres to 5.0 metres; and
 - (c) To increase the minimum south yard setback of the RM-15 Zone for Buildings 4,5 and 6 from 7.5 metres to 10.0 metres.
7. Council instruct staff to resolve the following issues prior to final approval:
- (a) resolution of all engineering requirements to the satisfaction of the General Manager, Engineering (Appendix D);
 - (b) submission and acceptance of finalized architectural drawings, including resolution of all urban design issues, to the satisfaction of the Planning and Development Department;
 - (c) submission and acceptance of finalized landscaping drawings, including resolution of all landscape design issues, and a landscaping cost estimate to the satisfaction of the Planning and Development Department;
 - (d) submission and acceptance of a finalized arborist report, including satisfying the required tree replacement, to the satisfaction of the Planning and Development Department;
 - (e) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (f) the applicant adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services;
 - (g) provision of a cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-15 Zone, at the rate in effect at the time of final adoption;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) submission of an acoustical report for the units adjacent to 24 Avenue and 128 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development.

DEVELOPMENT PROPOSAL

- The application includes the following:
 - **Official Community Plan Amendment** to remove the subject site from Figure 5. Suburban Density Exception Area (max 2 upa).
 - **Official Community Plan Amendment** to redesignate the site from Suburban to Urban.
 - **Rezoning** from RA and R₁ to RM-15.
 - **Development Permit** for Form and Character
 - **Development Variance Permit** for reduced setbacks.
- The table below provides a summary of the proposed development.

	Proposal
Lot Area	
Gross Site Area:	26,986.9 sq. m.
Road Dedication:	464.3 sq. m.
Net Site Area:	26,522.6 sq. m.
Density (net/gross)	33.5 UPH (13.6 UPA)/ (0.61 FAR)
Number of Lots	1
Lot Coverage:	41 %
Yards and Setbacks:	
Front (North direction):	5.0 m*
Side (East direction):	7.5 m
Side Flanking (West direction):	5.0 m*
Rear (South direction):	10.0 m*
Height of Buildings	
Principal buildings:	8.4m – 11.2 m
Accessory buildings:	8.4 m
Amenity Space	
Indoor Amenity:	186.6 sq. m. plus cash-in-lieu (to meet the Zoning Bylaw requirement)
Outdoor Amenity:	369.2 sq. m. (exceeds the Zoning Bylaw requirement)
Residential Units:	
3-Bedroom:	59
3-Bedroom plus den:	10
4-Bedroom:	20
Total:	89

*Development variance permit required

SITE CONTEXT & BACKGROUND

- The subject site is approximately 2.7 hectares in size and is located on the east side of 128 Street and south side of 24 Avenue.
- The subject site is designated Suburban in the Official Community Plan (OCP) and is zoned Acreage Residential Zone (RA) and Suburban Residential Zone (R₁).

- The site contains single family homes, with trees.

Direction	Existing Use	OCP Land Use Plan Designation	Existing Zone
North (Across 24 Ave):	Crescent Park Elementary School	<u>OCP</u> : Urban	R3
East:	Single family residential homes.	<u>OCP</u> : Suburban	R2
South:	Single family residential homes.	<u>OCP</u> : Suburban	R2
West (Across 128 Street):	Single family residential homes.	<u>OCP</u> : Urban	CD (Bylaw No. 16743) & R2

POLICY & BYLAW CONSIDERATIONS

Official Community Plan Amendment

- The applicants have applied for an OCP Amendment to remove the site from the Suburban Density Exception Area (max 2 upa) and then to redesignate the site from Suburban to Urban. The Suburban designation is intended to support low-density (maximum 2 units per acre) residential development, characterized by larger lot sizes and lower unit densities. The applicant proposes to amend the OCP designation to Urban, which permits a broader range of medium-density housing types such as townhouses.
- The proposed amendment is supported by a number of OCP policies, including Theme A: Growth Management, which emphasizes compact, efficient land-use patterns and infill development; and Theme B: Centres, Corridors & Neighbourhoods, which encourages diverse housing types and higher densities near transit and amenities.
- The rationale for the proposed amendment includes: enabling a broader range of housing types to meet evolving market and demographic needs; supporting more efficient use of existing infrastructure and services; and aligning with the OCP's direction to accommodate residential intensification in proximity to transit corridors and community amenities including schools.
- The proposal will contribute positively to the area through its sensitive design, potential to expand housing choice, tree retention and enhancement of the local streetscape.

Zoning Bylaw Proposed Variances

- The applicant is requesting variances to the setbacks identified in the Zoning Bylaw. Specifically, the applicant is seeking to reduce the north (front) yard setback along 24 Avenue from 7.5 metres to 5.0 metres, and the side yard flanking setback along 128 Street from 7.5 metres to 5.0 metres.

- The proposed setbacks maintain sufficient separation for landscaping, sightlines, and pedestrian movement, while enabling a more efficient site layout that supports urban design objectives and is consistent with other townhouse developments in the City.

DEVELOPMENT CONSIDERATIONS

Engineering & Transportation Considerations

- The project is subject to all conditions listed in the engineering requirements listed in Appendix D.

Vehicular Access and Circulation

- There are two vehicular accesses proposed for the subject properties . One is from 128 Street and another from 24 Avenue. The primary site access is provided via a new internal drive-aisle that forms a loop through the development and connects to both frontages, enabling efficient circulation for residents, visitors, and service vehicles.
- The proposed internal road network provides two points of ingress/egress to distribute vehicle movements with no through connections proposed to existing 129 Street to the south. The internal drive aisles are designed to meet City standards for townhouse developments, allowing for two-way traffic and adequate turning radii for emergency and waste collection vehicles.
- On-site parking is provided in a combination of side-by-side garage parking for residents and surface visitor stalls, consistent with the requirements of the RM-15 Zone. The development is proposed to occur in two phases, with Phase 1 accessed from 128 Street and Phase 2 extending east toward the 24 Avenue frontage.
- Overall, the proposed access arrangement is considered appropriate given the arterial road context, the looped internal circulation, and the traffic volumes generated by townhouse uses.

Transit

- The site is located along a “Frequent Bus Service” which is defined under B.C. Bill 44, as any location within 400 meters of a bus stop served by at least one route running every 15 minutes or better between 7 a.m.–7 p.m. on weekdays and 10 a.m.–6 p.m. on weekends.
- The site is located along 128 Street and 24 Avenue, which is a transit corridor served by TransLink Bus Route 360 (Ocean Park / South Surrey / White Rock Centre). Bus stops are located within approximately 100 metres (1–2 minutes’ walking distance) of the site at the intersection of 24 Avenue and 128 Street.
- Overall, the site is considered to have moderate transit accessibility, with direct bus service on 128 Street and convenient connections to other transit hubs that provide regional connections.

Transportation Impact Assessment

- The proposed 93-unit townhouse development is estimated to generate 45 vehicle trips during the AM peak hour and 53 during the PM peak hour, which is below the 100 peak hour trip threshold outlined in the *Surrey Design Criteria Manual* for requiring a Transportation Impact Analysis (TIA). The applicant provided a voluntary TIA to address traffic concerns from adjacent owners.
- The TIA indicated that the intersections of 128 Street & 24 Avenue and School Access/24 Avenue are expected to continue operating acceptably post development, which was noted as negligible change (1–3%) to current intersection volumes.
- Recommendations include enforcing right-in/right-out movements at the north access due to proximity to a bus stop and sightline considerations, and extending the westbound left-turn storage at 128 Street & 24 Avenue to 55 metres to accommodate future queue lengths.

Parking Spaces

- The applicant is proposing to provide the following number of vehicle and bicycle parking spaces including 3 additional visitor stalls:

	Required	Proposed
Number of Stalls		
Residential:	178	178
Residential Visitor:	18	21
Total:		
Accessible:	1	1
Bicycle Spaces		
Residential:	6	6

Tree Considerations

- The applicant has submitted an arborist report, which identifies onsite, off-site, and City tree species. A summary of the proposed tree retention, removal, and proposed replacement is found in Appendix E.
- There are 319 trees on the subject site, 275 of which are proposed to be removed. The applicant is required to plant replacement trees and/or provide cash-in-lieu of replacement trees to the Green City Program in accordance with Surrey Tree Protection Bylaw, No. 16100, as amended.
- The City has reviewed the arborist report and supports the Arborist's findings. There are a total of 13 offsite trees which are all proposed to be retained.
- The applicant is proposing the removal of 26 City trees along 128 Street. The City's Parks Department have accepted the removal of these trees. All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Parks Considerations

- The closest active park is Crescent Park, which is approximately 400 metres from the site, providing convenient walking access for residents. The park offers a variety of amenities, including walking and nature trails, baseball diamonds, a multi-purpose field, playground, picnic shelters, tennis courts, and pickleball courts.

School Capacity Considerations

- The School District has advised that there will be approximately 79 school-age children generated by this development. The number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts. The School District has provided the following expected student enrollment:
 - 43 Elementary students at Crescent Park Elementary School; and
 - 23 Secondary students at Elgin Park Secondary School.

(Appendix F)

Surrey Fire Considerations

- The Surrey Fire Department has no concerns with the proposed development, however, there are some standard requirements to be addressed as part of the subsequent Building Permit application.

Form and Character Development Permit Considerations

- The applicant has worked with staff to refine the site layout and address grading and interface concerns along 24 Avenue and 128 Street. Key challenges involved transitioning from the adjacent single-family context to a higher-density townhouse form. The resulting design includes varied building typologies and a sensitive massing approach that steps with the natural topography, creating a compatible scale and rhythm along public frontages.
- The proposal features several notable design and planning merits, including a lower overall density, larger unit sizes that maintain the appearance and scale of single-family dwellings, and a thoughtful transition to the existing neighbourhood context. The buildings along 128 Street are limited to 2 and 2.5 storeys in height, which reduces potential impacts on adjacent homes and contributes to a more compatible streetscape.
- The proposed development consists of a comprehensively designed townhouse community organized around a central internal lane system with direct pedestrian connections to both 24 Avenue and 128 Street. The plan incorporates an internal amenity node, including an outdoor play area and a single-storey indoor amenity building, positioned to maximize sun exposure and accessibility. The grading strategy maintains existing mature trees where feasible and uses gentle transitions to buffer the residential edges. Circulation is clear and efficient, with shared drive aisles, integrated visitor parking, and continuous sidewalks that reinforce pedestrian comfort.

- Architecturally, the proposal draws on a contemporary coastal vernacular that reflects the Ocean Park context. The townhouse buildings feature clean, horizontal lines, articulated façades, and gabled roof forms that break down the overall scale. Materials include painted fiber-cement siding, brick accents, and natural wood tones, selected for their durability and coastal character. Building heights are generally two and a half storeys to reflect the surrounding residential character, with thoughtful modulation and separation between blocks to preserve privacy and natural light. Signage is low-scale and integrated into landscape features.
- The landscape design reinforces the character of the surrounding area with layered planting, street trees, and generous setbacks along both 128 Street and 24 Avenue. Buffer planting and fencing along interior property lines provide privacy for neighbouring homes. The streetscape features enhanced sidewalks, a 10-metre landscaped buffer, and a new public sidewalk along 24 Avenue that strengthens connectivity.
- The proposal meets the intent of the City's Form and Character and Urban Design Guidelines. Minor deviation from the townhouse guidelines relate to the internal grade transitions required due to existing site slopes; however, these have been addressed through stepped building forms and retaining walls designed to minimize visual impact.

Indoor & Outdoor Amenity

- The indoor amenity building is approximately 186.6 square metres. The minimum required under the Zoning Bylaw is 267 square metres. The applicant will pay the remaining amount as a cash in lieu, which meets the Zoning Bylaw requirement. The indoor amenity building is located centrally within the site near the intersection of the internal drive aisles, positioned to be easily accessible from all townhouse clusters.
- It is a single-storey structure with a height of approximately 8.43 metres to the roof peak.
- The interior program includes:
 - A party room with kitchen and dining area suitable for resident gatherings.
 - A fitness room adjacent to the lobby.
 - An accessible washroom, storage/mechanical room, and mailroom/lobby space.
- The outdoor amenity area is approximately 369 square metres, and is directly contiguous with the indoor amenity building, forming a cohesive community node within the development. The outdoor amenity area includes landscaped open space for children's play, seating areas, and soft landscaping for visual comfort and privacy.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 29, 2025, and the development proposal signs were installed on May 1, 2025. Staff received 103 responses from area residents. A summary of the feedback received is listed below (*staff comments in italics*)
 - Density & building form does not meet the characteristics of the existing neighbourhood.

Surrey is experiencing ongoing population growth, creating increased demand for housing typologies particularly in areas where the market currently offers limited options. This development introduces a mix of housing forms to provide more diversity and which may be attainable within the local market. The site is also located in a transition area, with more urban development to the west and lower-density suburban neighbourhoods to the east. The proposal has been designed to provide a gradual transition in building form and scale, incorporating appropriate setbacks, landscaping, and design elements to complement the surrounding context.

- Concerns about congestion and safety near Crescent Park Elementary School, including spillover parking on local streets.

A traffic impact study was completed for the proposed development, which concluded that traffic and parking impacts on surrounding streets would remain within acceptable limits. In response to concerns, the applicant has also reduced the number of units by four, allowing for the addition of three visitor parking stalls on-site to further mitigate potential spillover.

- Concerns that the existing infrastructure does not support high density development.

Engineering infrastructure would be upgraded to meet the proposed density requirements as part of the Servicing Agreement.

- The proposed path along the south portion of the site onto 129 Street is expected to see increased use as it would create a shortcut between 24 Avenue and 128 Street. This section of 129 Street is not designed to accommodate increased pedestrian traffic, as there are no sidewalks, which raises safety concerns.

The pedestrian connection to 129 Street has been removed.

- Tree preservation and loss green space.

While some trees may need to be removed to accommodate development, the proposal includes replacement planting and retention of significant trees along the south property line.

- Schools in Crescent Park and the surrounding neighbourhoods are already operating at or near capacity, and the proposed development would add further pressure to existing enrollment challenges.

As of September 2025, Crescent Park Elementary is at 67% capacity, and Elgin Park Secondary is at 119% capacity. The proposed development would bring approximately 66 students to the neighbourhood with projections of 43 elementary students and 23 high school students.

Public Information Meeting

- The applicant hosted a Public Information Meeting (PIM) for the proposed development on Thursday, October 2, 2025, from 5:30 p.m. to 7:30 p.m. at Crescent Park Elementary School Gymnasium. The purpose of the meeting was to present the proposed townhouse development, answer questions, and gather feedback from the community.
- Engagement Details included:

- Approximately 85 residents attended the in-person event.
 - 33 hard copy comment cards were received at the meeting.
 - An additional 16 online or emailed comments were received during the two-week public input period (October 2–16, 2025).
 - 3 additional comments were received after the comment period closed.
 - In total, 52 comments were submitted.
- Notification was provided through a Canada Post mailout to 104 addresses within a 120-metre radius and via email notices to previous focus group participants and interested members of the public. A dedicated project website (oceanparksurrey.ca) was launched on September 23, 2025 to provide ongoing access to drawings, project boards, and a comment submission form.

Summary of Feedback

- 6 respondents expressed support
- 40 respondents were opposed
- 2 respondents were neutral
- 1 respondent was undecided
- 3 respondents did not indicate a position

Key Areas of Support

- Recognition of the need for housing diversity and affordability in the Ocean Park area.
- Appreciation for the two-storey townhouse forms that better align with existing neighbourhood character.

Key Areas of Concern

- Density and building form: Many residents expressed that 93 homes were too dense for the area and preferred single-family or two-storey townhouse forms.
- Traffic and parking: Concerns about congestion and safety near Crescent Park Elementary School, including spillover parking on local streets.
- Tree preservation and green space: Requests for increased tree retention and larger landscaped areas.
- Pedestrian and school safety: Noted risks associated with higher traffic volumes and vehicle movements along 24 Avenue and 128 Street.

Key Revisions to the Amended Proposal

- Proposed density was reduced from 93 to 89 units to better align with site and neighbourhood context.
- Maintains 2 parking spaces per unit (total 178 spaces) in accordance with the Zoning Bylaw, however, the visitor parking was increased from the minimum 18 spaces to 21 spaces to reduce on-street parking demand.
- Deeper Driveway Aprons: Introduces 16'–18' aprons for Buildings 05, 06, 11, 12, 17–22, creating 58 additional outdoor spaces for residents and visitors.
- Combined, the revised layout delivers 257 total parking spaces (178 enclosed, 21 visitor, 58 on aprons), improving functionality and addressing community feedback from Focus Groups and the Public Information Meeting.
- Increased landscaping and larger private yards due to reduced density, and additional tree planting proposed to offset the loss of existing trees onsite.
- Building heights along the eastern property line have been reduced to enhance privacy and compatibility with adjacent single-family homes.

COMMUNITY AMENITY CONTRIBUTIONS

- The proposed development is subject to the following Community Amenity Contributions, which are payable at the rate in effect at the time of payment and may be subject to change:

Contribution Type	Current Rate
Capital Projects Contributions (Tier 1 CAC)	\$4,455.70 per unit
Community Specific Capital Projects Contributions (Tier 2 CAC)	\$22,278.48 per unit
Affordable Housing Contribution	\$1,113.92 per unit

CONCLUSION

In summary, the applicant proposes to redevelop three properties at 2388 and 2308 128 Street and 12862 24 Avenue into an 89-unit townhouse development. The application proposes an OCP Amendment to remove the site from the Suburban Density Exception Area (max 2 upa) and then to redesignate the site from Suburban to Urban, Rezoning from RA and R1 to RM-15, and a Development Permit and Variance Permit. The proposal aligns with the City's growth management objectives by introducing medium-density housing in proximity to frequent transit service along 128 Street and 24 Avenue.

The revised design responds to public feedback through a modest density reduction, increased visitor and apron parking, larger landscaped areas, and reduced building heights along the eastern property line to enhance privacy. The development will deliver a compact, family-oriented housing form that transitions sensitively to adjacent single-family neighbourhoods while supporting efficient land use and transit-oriented growth.

Staff recommend approval of the OCP amendment, rezoning, and related permits subject to the conditions outlined in this report.

INFORMATION ATTACHED TO THIS REPORT

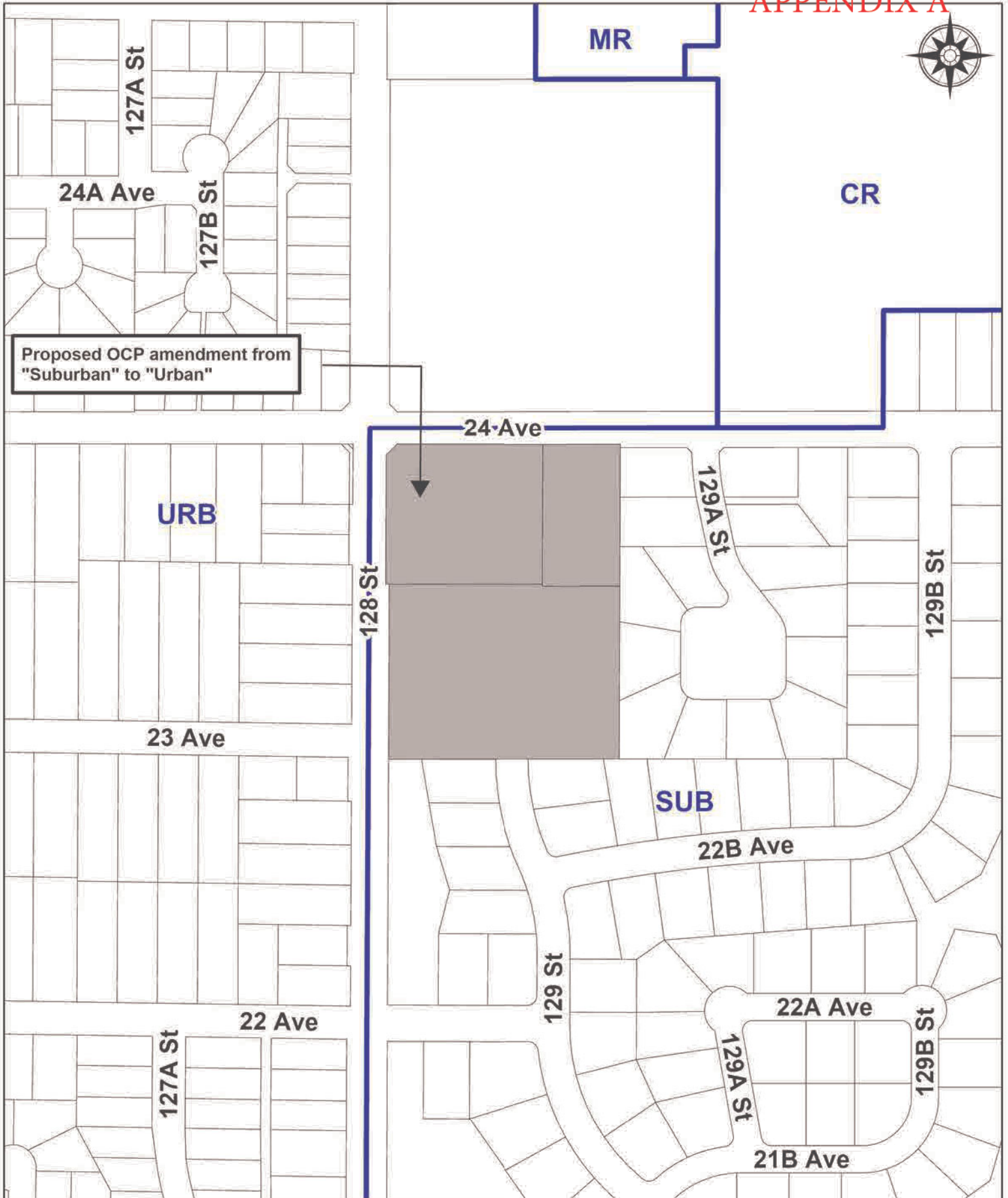
The following information is attached to this Report:

- Appendix A: Official Community Plan Amendment Map
- Appendix B: Site Plan, Building Elevations, Perspective and Landscape Plans
- Appendix C: Development Variance Permit No. 7925-0099-00
- Appendix D: Engineering Summary
- Appendix E: Summary of Tree Preservation, Removal and Replacement
- Appendix F: School District Comments

approved by Shawn Low

Ron Gill

General Manager
Planning and Development



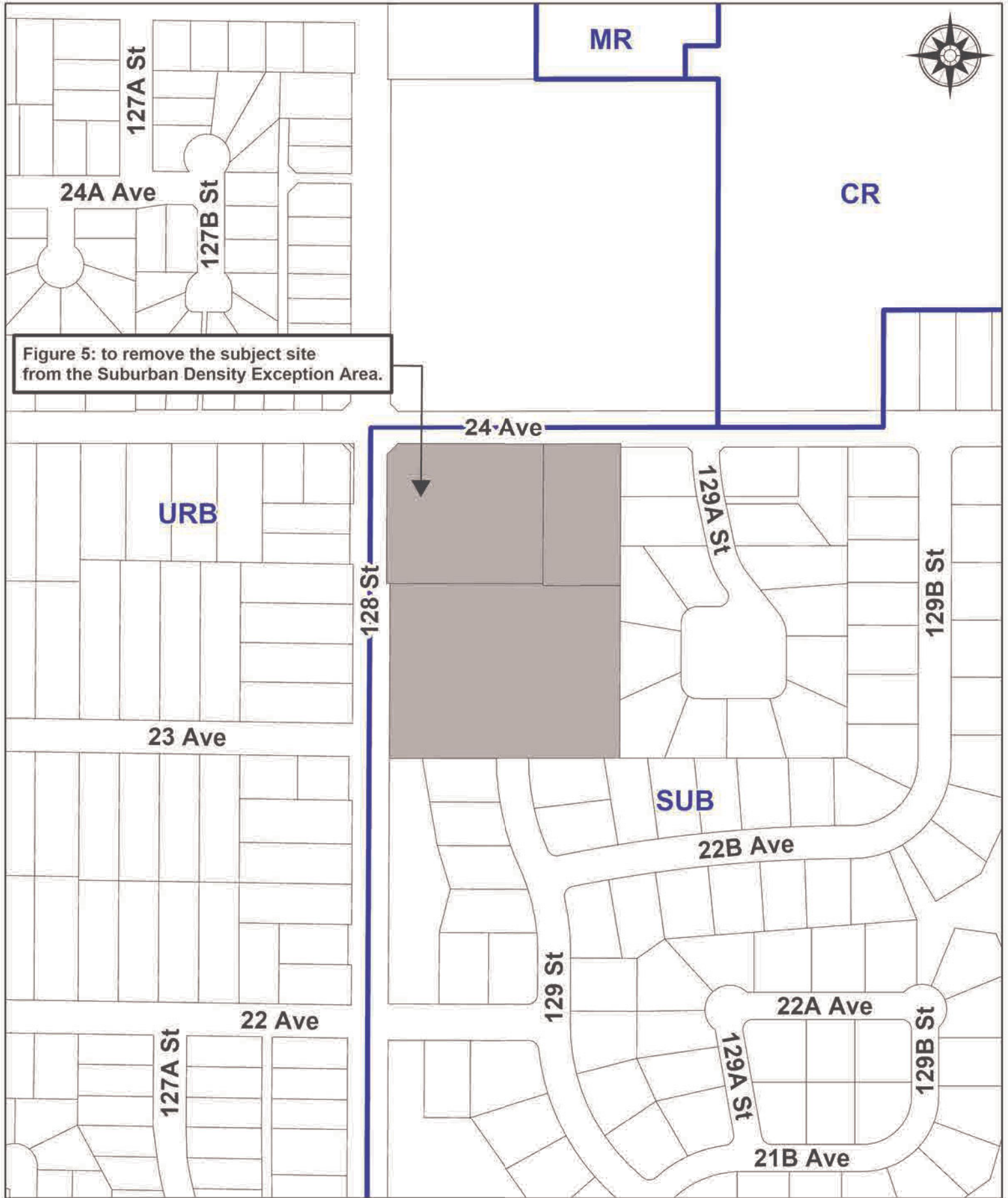


Figure 5: to remove the subject site from the Suburban Density Exception Area.





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PROJECT
OCEAN PARK TOWNHOMES
2300 & 2300 12th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE
PROJECT STATISTICS & DEVELOPABLE AREA

DRAWING NO.

A0.01

PROMISED TOWNHOUSE DEVELOPMENT

QUALIFIED COMMUNITY PLAN

ARTICLE 428.01 & 428.02 AM, ZONING BY-LAW

LOCAL BY-LAW NUMBER

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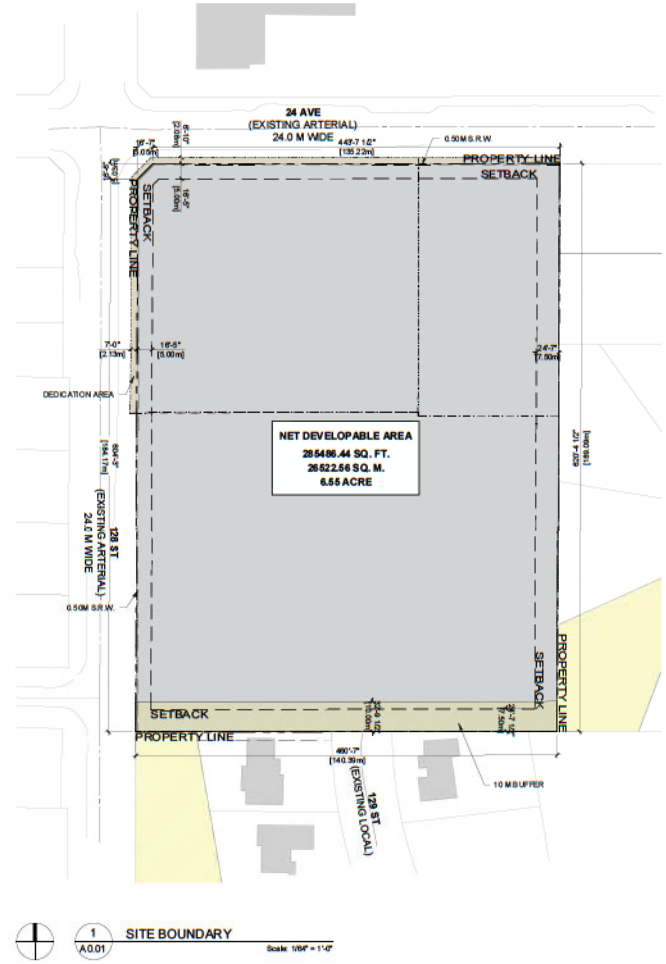
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PARKING SUMMARY

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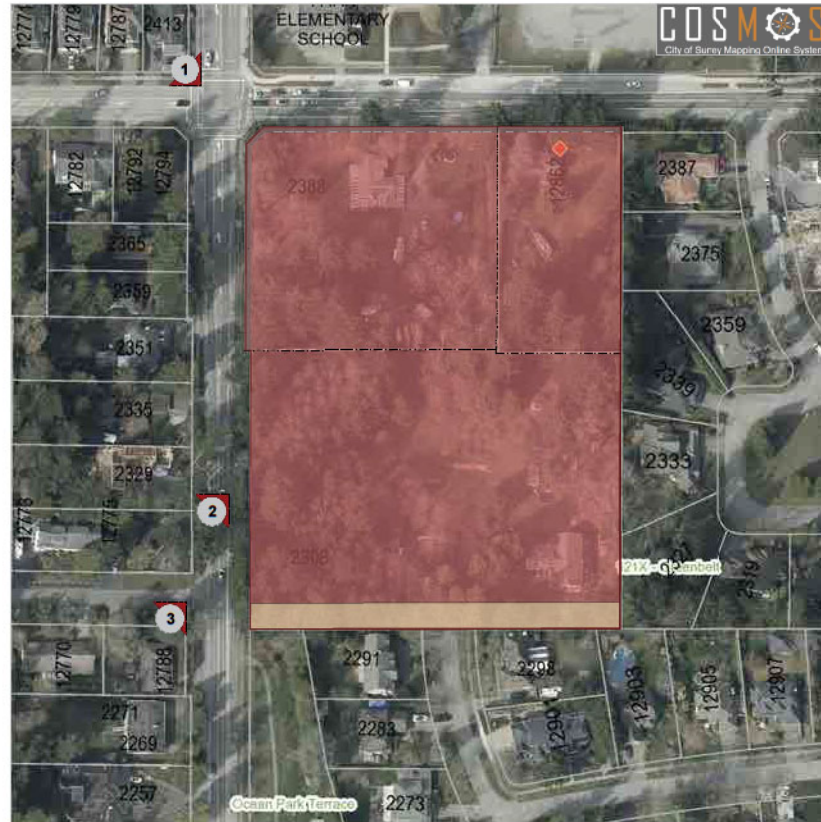
VIEW #1



VIEW #2



VIEW #3



1 A0.02A SITE CONTEXT PLAN NTS



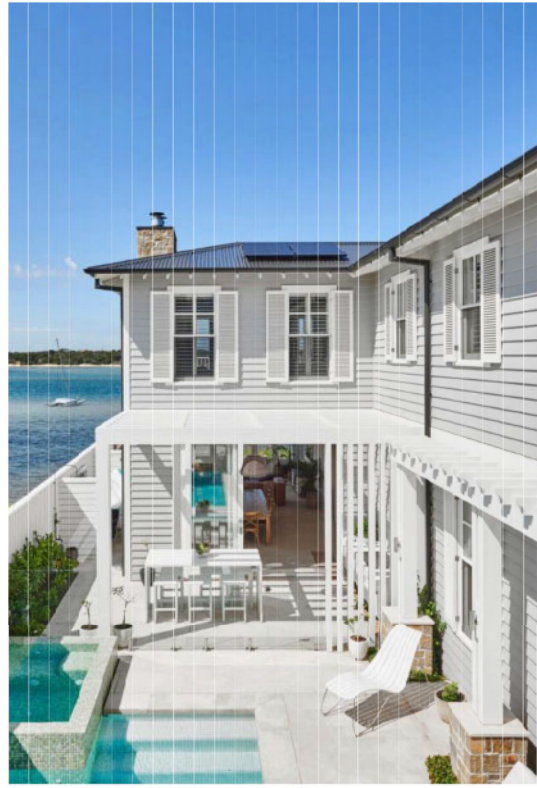
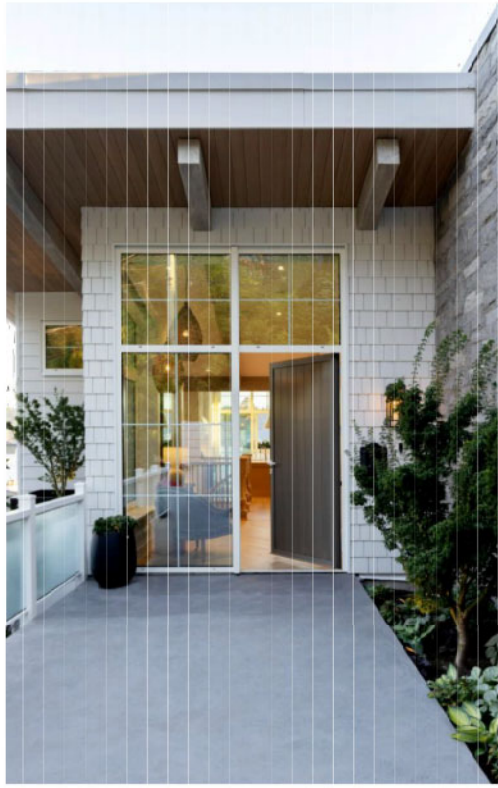
REVISIONS	
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9	REQUIRED FOR DEVELOPMENT PERMIT 2025 10 28
2	REQUIRED FOR DEVELOPMENT PERMIT 2025 02 21
1	ISSUED FOR PRELIMINARY REVIEW 2024 06 11

PROJECT NUMBER: CE-18
 DRAWN BY: AMR
 CHECKED BY: MB
 DATE CHECKED: OCT 08, 2025
 CONSULTANT:

PROJECT
OCEAN PARK TOWNHOMES
 2308 & 2306 128th St
 and 12802 24th Ave
 SURREY, BC

DRAWING TITLE
SITE CONTEXT

DRAWING NO.
A0.02a



EKISTICS
ARCHITECTURE

100-488 Woodbine Ave.
Markham, ON L3R 0Y6, CANADA
Tel: 416-491-4880
www.ekistics.com



REVISIONS

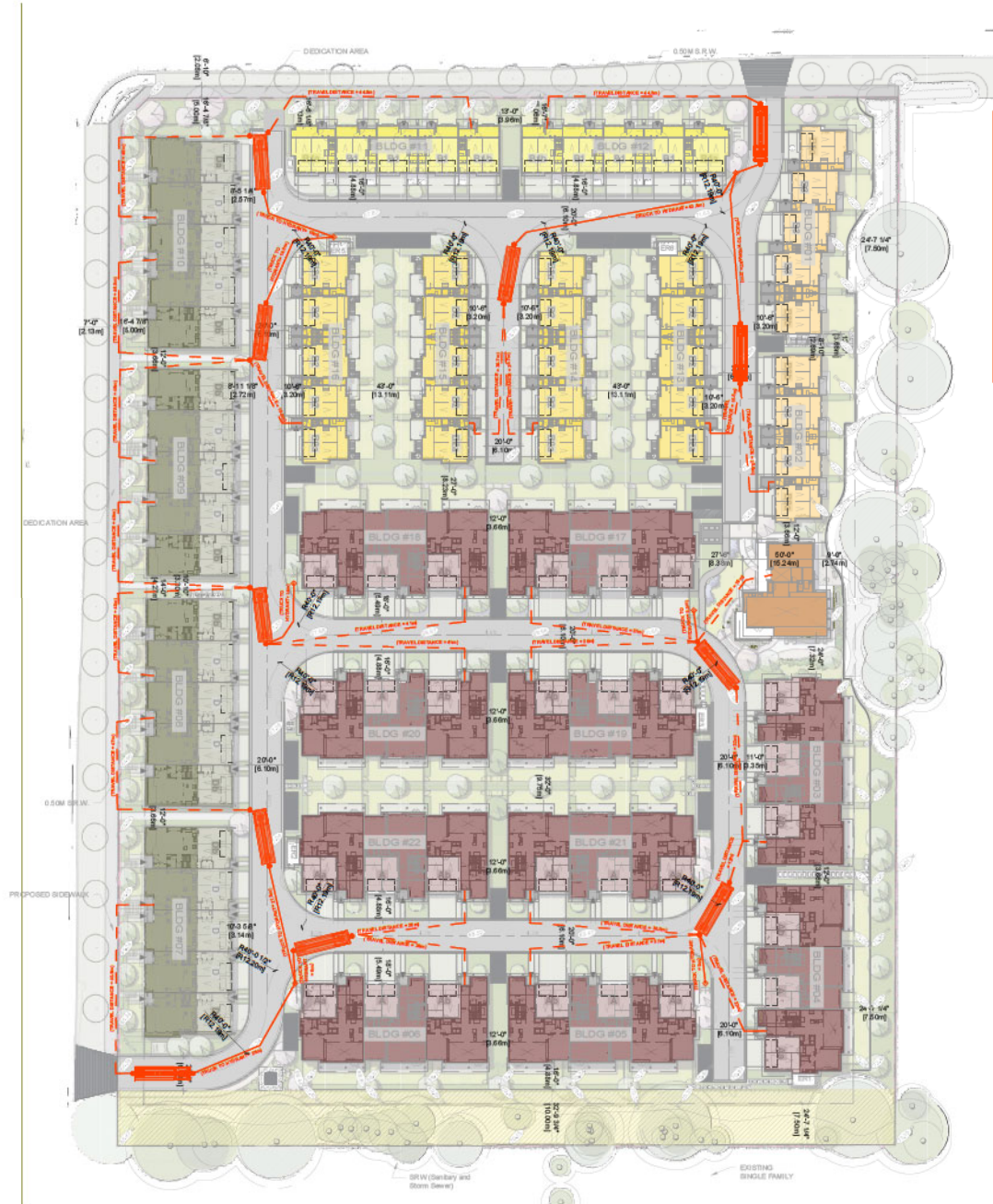
NO.	REVISION	DATE
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5	ISSUED FOR DEVELOPMENT PERMIT	2025-10-28
6	ISSUED FOR DEVELOPMENT PERMIT	2025-02-21
7	ISSUED FOR PRELIMINARY REVIEW	2024-06-11

PROJECT NUMBER: CE-18
DRAWN BY: AMR
CHECKED BY: MB
DATE CHECKED: OCT 08, 2025
CONSULTANT:

PROJECT
OCEAN PARK TOWNHOMES
2308 & 2308 128th St
and 12062 24th Ave
SURREY, BC

DRAWING TITLE
DESIGN VISION/PRECEDENTS

DRAWING NO.
A0.02b



NOTE:

- ALL SURFACES WITHIN THE REQUIRED FIRE ACCESS ROUTES SHALL BE DESIGNED TO ACCOMMODATE FIRE FIGHTING EQUIPMENT LOADS AS PER THE FIRE DEPARTMENT REQUIREMENTS & S.C.B.C. 284.
- ACCESS ROUTES TO SUPPORT MIN. WEIGHT OF 25,000 LBS/AXLE.
- MIN. WIDTH OF FIRE TRUCK ACCESS ROUTE = 8M

LEGEND:

- ◆ FH: PROPOSED FIRE HYDRANT
- : DISTANCE FROM HYDRANT TO TRUCK (MAX. 45M)
- : DISTANCE FROM TRUCK TO FRONT DOOR (MAX. 45M)
- : FIRE TRUCK CENTRELINE RADIUS (3M MIN.)

- MAXIMUM FIRE DEPT. TRUCK ACCESS ROUTE TO BE 80M. TRUCK TURN RADIUS SHALL BE 10M IF ACCESS ROUTE EXCEEDS 80M.
- NO PARKING BAYS TO BE FORMED ALONG TRUCK FIRE ACCESS ROUTES.
- ALL OVERHEAD CLEARANCES ARE NOT LESS THAN 5M.
- ACCESS ROUTES DO NOT EXCEED A GRADE OF 1 IN 12.5.

1 FIRE ACCESS PLAN
Scale: 1/32" = 1'-0"



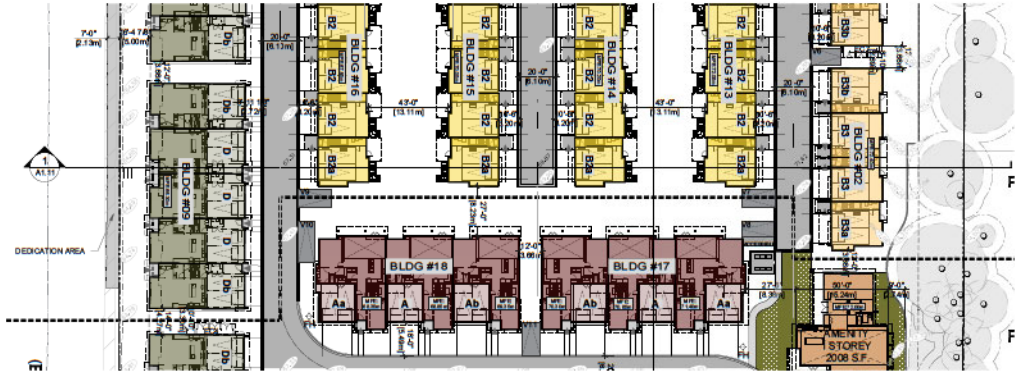
REVISED	DATE
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5	ISSUED FOR DEVELOPMENT PERMIT 2025.10.28
6	ISSUED FOR DEVELOPMENT PERMIT 2025.02.21
7	ISSUED FOR PRELIMINARY REVIEW 2024.06.11

PROJECT NUMBER	DE-18
DESIGNED BY	JARA
CHECKED BY	MB
DATE CHECKED	OCT 18, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2300 & 2300 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE
FIRE ACCESS PLAN

DRAWING NO.
A1.02



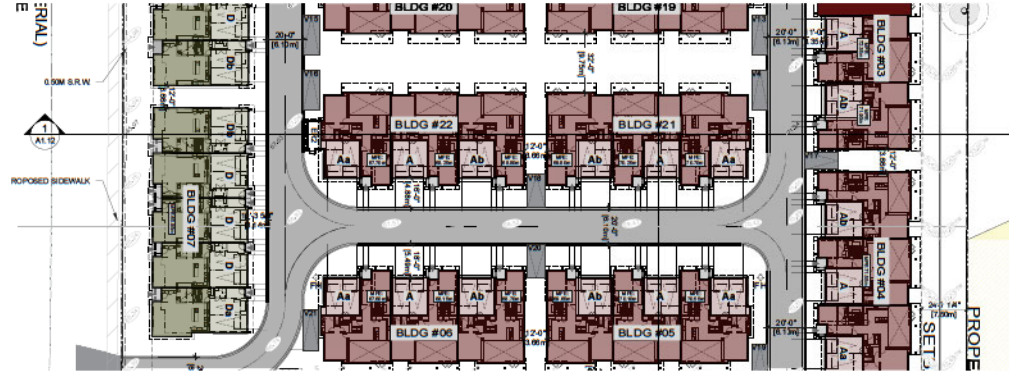
1 SITE SECTION - 01
A1.11 Scale: 1/32" = 1'-0"

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PROJECT
OCEAN PARK TOWNHOMES
2300 42300 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING No.
A1.11



1 SITE SECTION - 01
A1.12 Scale: 1/32" = 1'-0"

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REVISED	DATE
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2	2005 10 28
3	2005 02 21
4	2004 06 11

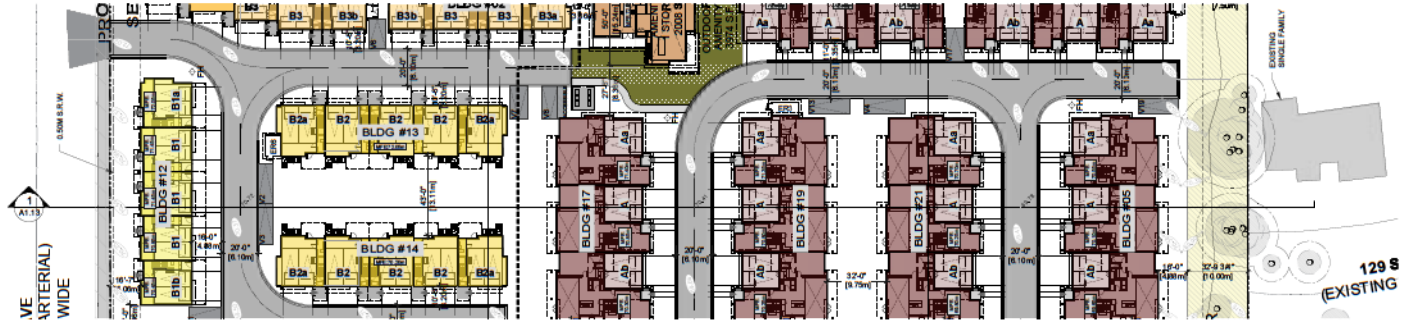
PROJECT NUMBER	CE-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 18, 2005
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2300 & 2300 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING No.

A1.12



1 SITE SECTION - 01
Scale: 1/8" = 1'-0"

REVISION	DATE
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PROJECT NUMBER	CE-18
OWNER BY	AMH
CHECKED BY	MB
DATE CHECKED	OCT 18, 2025
CONSULTANT	

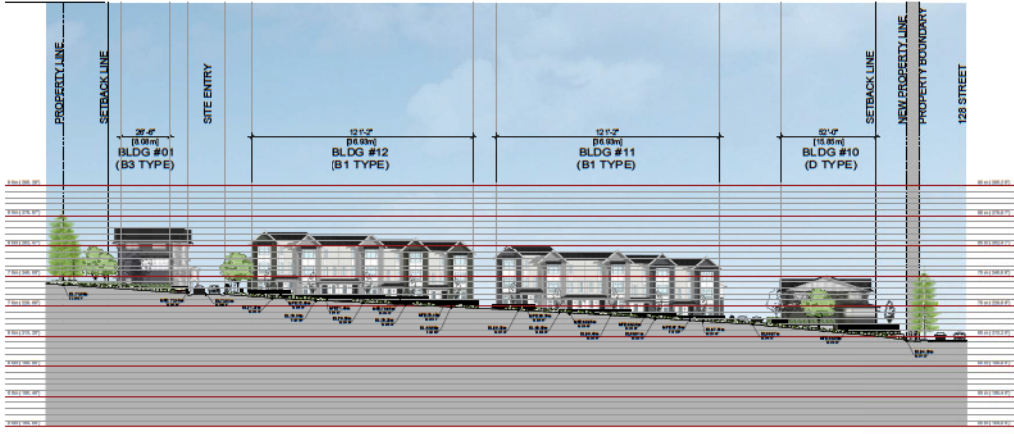
PROJECT
OCEAN PARK TOWNHOMES
2300 & 2301 128th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING No.
A1.13



1 **STREETSCAPE ALONG 128 STREET**
A1.21 Scale 1/32" = 1'-0"



2 **STREETSCAPE ALONG 24 AVENUE**
A1.21 Scale 1/32" = 1'-0"

REVISIONS	
NO.	DATE
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5	ISSUED FOR DEVELOPMENT PERMIT 2005 10 28
6	ISSUED FOR DEVELOPMENT PERMIT 2005 02 21
7	ISSUED FOR PRELIMINARY REVIEW 2004 06 11

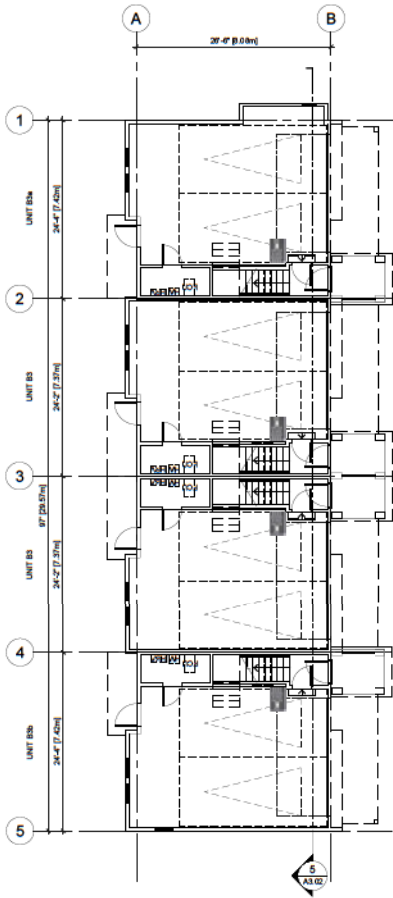
PROJECT NUMBER	CE-18
DRAWN BY	JARA
CHECKED BY	MB
DATE CHECKED	OCT 18, 2005
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2398 128th St
and 12862 24th Ave
SURREY, BC

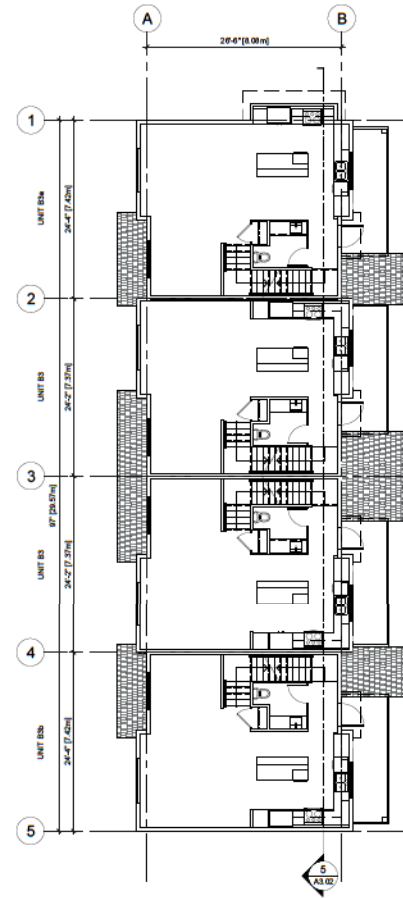
DRAWING TITLE
STREETSCAPES

DRAWING No.

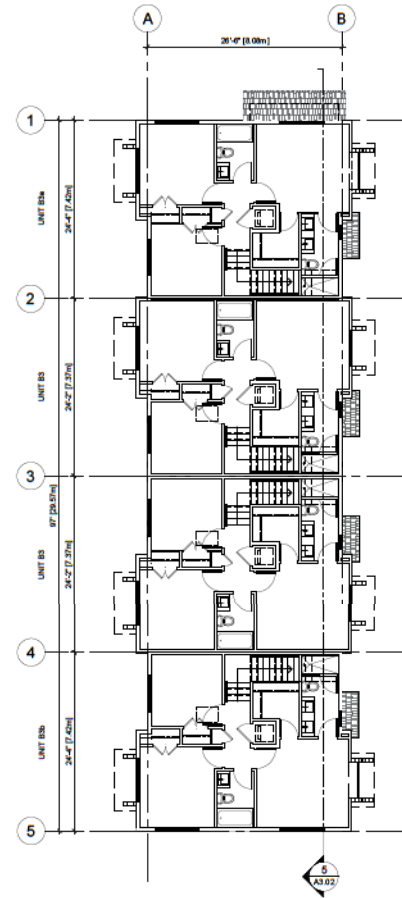
A1.21



1 LOWER FLOOR PLAN
Scale: 1/8" = 1'-0"

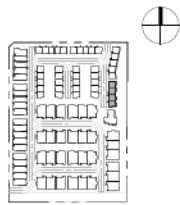


2 MAIN FLOOR PLAN
Scale: 1/8" = 1'-0"



3 UPPER FLOOR PLAN
Scale: 1/8" = 1'-0"

BUILDING #02 AREAS	S.F.	S.M.
- LOWER FLOOR	478.01	44.46
- MAIN FLOOR	2,762.50	259.05
- UPPER FLOOR	2,734.51	254.04
- TOTAL FLOOR AREA	5,975.02	556.15

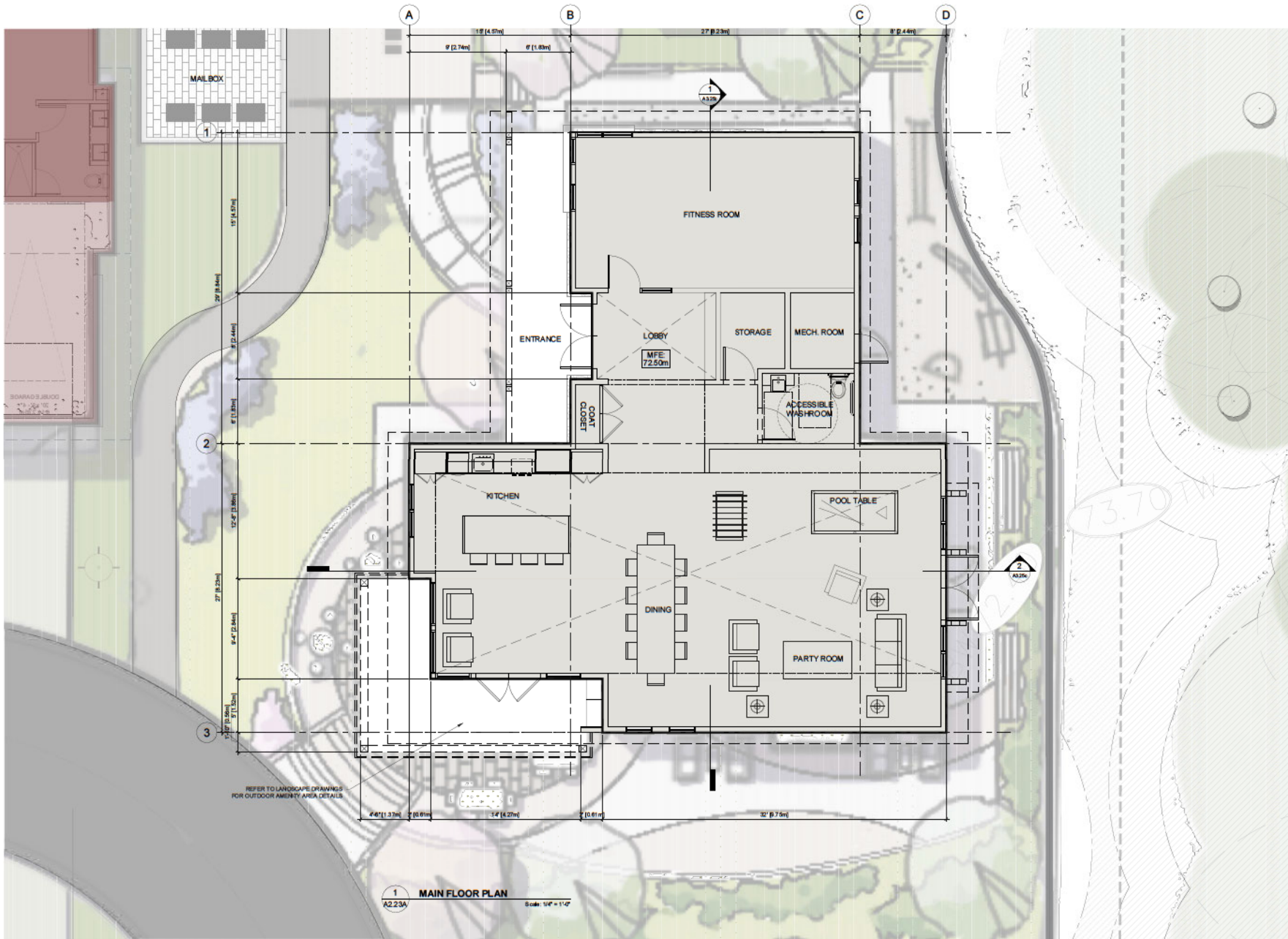


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PROJECT
OCEAN PARK TOWNHOMES
2300 & 2300 128th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE
BUILDING #02 FLOOR PLANS

DRAWING NO.
A2.02

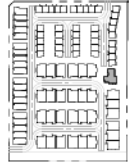


EKISTICS

ARCHITECTURE

879-488-2855
12000 130th Ave
Surrey, BC Canada, V3V 2C8

1-800-663-6888
www.ekistics.com



QUALICO

FOXRIDGE HOMES
A QUALICO Company

REVISIONS

NO.	DATE	DESCRIPTION
1		
2	2025 02 21	ISSUED FOR PRELIMINARY REVIEW
3	2025 02 28	ISSUED FOR DEVELOPMENT PERMIT
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PROJECT NUMBER	CE-18
DRAWN BY	AMR
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT

OCEAN PARK TOWNHOMES

2308 & 2308 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE

**AMENITY
MAIN FLOOR PLAN**

DRAWING NO.

A2.23a



1 FRONT PERSPECTIVE - B3 TYPE
A3.00A NTS



2 FRONT PERSPECTIVE - B3 TYPE
A3.00A NTS



3 REAR PERSPECTIVE - B3 TYPE
A3.00A NTS



4 ENTRY DETAIL PERSPECTIVE - B3 TYPE
A3.00A NTS



REV	DATE
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5	ISSUED FOR DEVELOPMENT PERMIT 2005-10-28
6	ISSUED FOR DEVELOPMENT PERMIT 2005-02-21
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11	ISSUED FOR PRELIMINARY REVIEW 2004-06-11

PROJECT NUMBER: DE-18
 DRAWN BY: AMR
 CHECKED BY: MB
 DATE CHECKED: OCT 08, 2005
 CONSULTANT:

PROJECT
OCEAN PARK TOWNHOMES
 2300 & 2300 128th St
 and 12802 24th Ave
 SURREY, BC

DRAWING TITLE
BUILDING #02 RENDERINGS

DRAWING NO.

A3.00a



1 FRONT PERSPECTIVE - A TYPE
A3.00b NTS



2 FRONT PERSPECTIVE - A TYPE
A3.00b NTS



3 REAR PERSPECTIVE - A TYPE
A3.00b NTS



4 ENTRY DETAIL PERSPECTIVE - A TYPE
A3.00b NTS



REVISION	DATE
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1	ISSUED FOR PRELIMINARY REVIEW	2024-06-11
2	ISSUED FOR DEVELOPMENT PERMIT	2025-02-21
3	ISSUED FOR DEVELOPMENT PERMIT	2025-10-28

PROJECT NUMBER	DE-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 18, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2398 128th St
and 12862 24th Ave
SURREY, BC

DRAWING TITLE
BUILDING #03 RENDERINGS

DRAWING No.

A3.00b



1 FRONT PERSPECTIVE - D TYPE
A3.00C NTS



2 FRONT PERSPECTIVE - D TYPE
A3.00C NTS



3 REAR PERSPECTIVE - D TYPE
A3.00C NTS



4 ENTRY DETAIL PERSPECTIVE - D TYPE
A3.00C NTS



REVISIONS

NO.	DESCRIPTION	DATE
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5	ISSUED FOR DEVELOPMENT PERMIT	2025 10 28
6	ISSUED FOR DEVELOPMENT PERMIT	2025 02 21
7	ISSUED FOR PRELIMINARY REVIEW	2024 06 11

PROJECT NUMBER	DE-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2390 128th St
and 12862 24th Ave
SURREY, BC

DRAWING TITLE
BUILDING #07 RENDERINGS

DRAWING NO.

A3.00c



1 FRONT PERSPECTIVE - B1 TYPE
A3.00D NTS



2 FRONT PERSPECTIVE - B1 TYPE
A3.00D NTS



3 REAR PERSPECTIVE - B1 TYPE
A3.00D NTS



4 ENTRY DETAIL PERSPECTIVE - B1 TYPE
A3.00D NTS



REVISIONS

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3	ISSUED FOR DEVELOPMENT PERMIT 2005 10 28
2	ISSUED FOR DEVELOPMENT PERMIT 2005 02 21
1	ISSUED FOR PRELIMINARY REVIEW 2004 06 11

PROJECT NUMBER	DE-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 08, 2005

CONSULTANT

PROJECT

OCEAN PARK TOWNHOMES
2388 & 2390 128th St
and 12882 24th Ave
SURREY, BC

DRAWING TITLE

BUILDING #12 RENDERINGS

DRAWING No.

A3.00d



1 FRONT PERSPECTIVE - B2 TYPE
A3.00e NTS



2 FRONT PERSPECTIVE - B2 TYPE
A3.00e NTS



3 REAR PERSPECTIVE - B2 TYPE
A3.00e NTS



4 ENTRY DETAIL PERSPECTIVE - B2 TYPE
A3.00e NTS



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PROJECT NUMBER	DE-18
DRAWN BY	AMH
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2300 & 2300 128th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE
BUILDING #13 RENDERINGS

DRAWING No.

A3.00e



1 PERSPECTIVE
A3.00f NTS



2 PERSPECTIVE
A3.00f NTS



3 PERSPECTIVE
A3.00f NTS



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PROJECT NUMBER	DE-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 18, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2300 & 2300 128th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE
AMENITY RENDERINGS

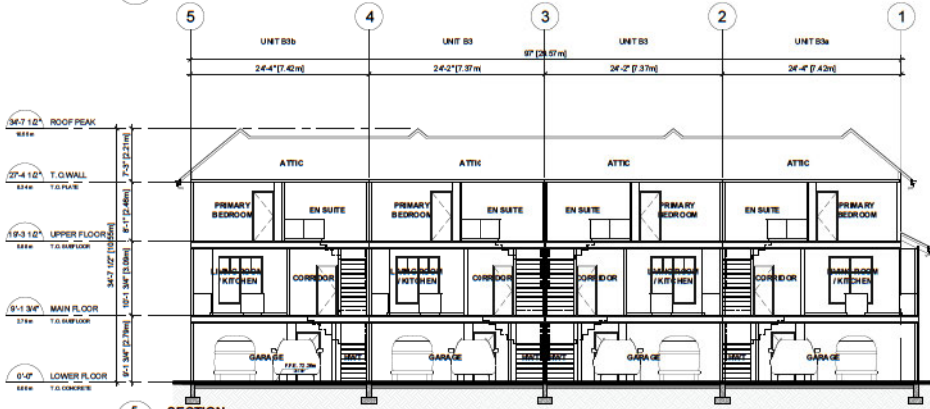
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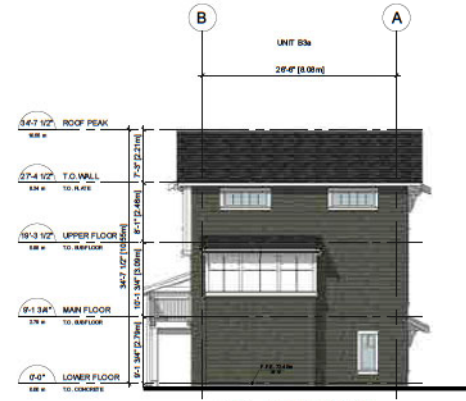
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Scale: 1/8" = 1'-0"



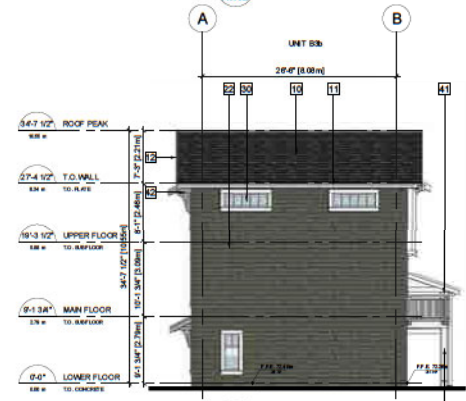
3 REAR ELEVATION
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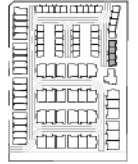
5 SECTION
Scale: 1/8" = 1'-0"



2 SIDE ELEVATION
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION
Scale: 1/8" = 1'-0"



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PROJECT
OCEAN PARK TOWNHOMES
2388 & 2388 128th St
and 12882 24th Ave
SURREY, BC

DRAWING TITLE
BUILDING #02 ELEVATIONS & SECTION

DRAWING NO.

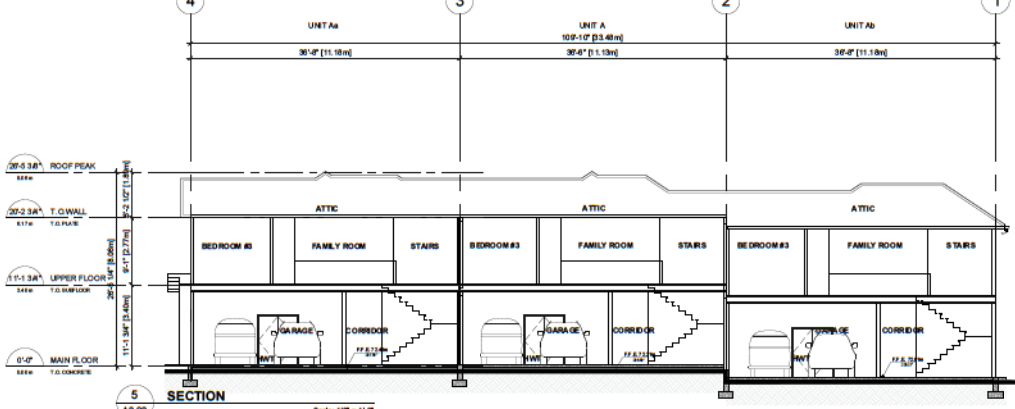
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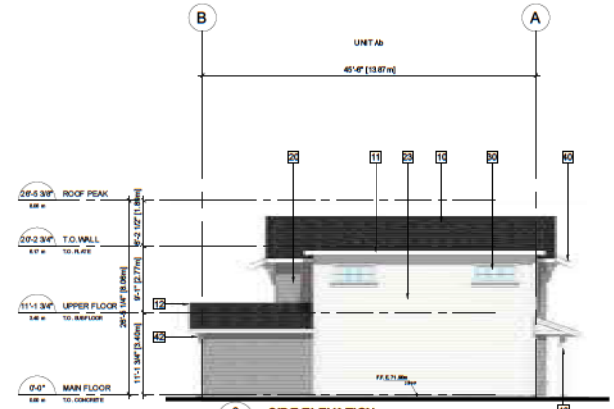
1 FRONT ELEVATION
Scale: 1/8" = 1'-0"



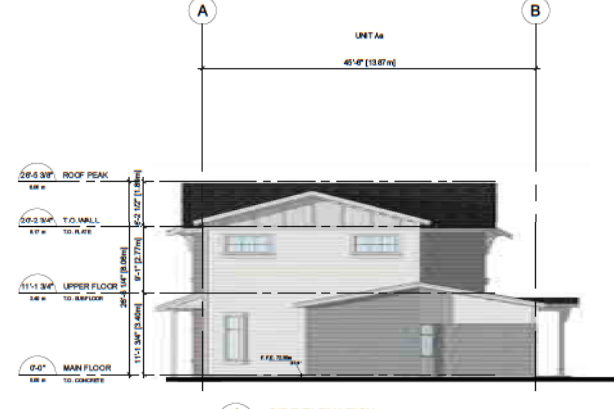
3 REAR ELEVATION
Scale: 1/8" = 1'-0"



5 SECTION
Scale: 1/8" = 1'-0"



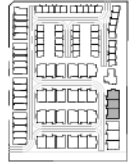
2 SIDE ELEVATION
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION
Scale: 1/8" = 1'-0"



NOTE:
BUILDINGS 4, 5, 6, 17-22 ARE SIMILAR



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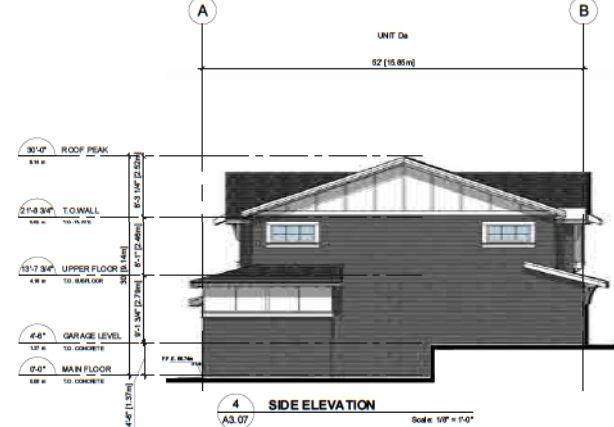
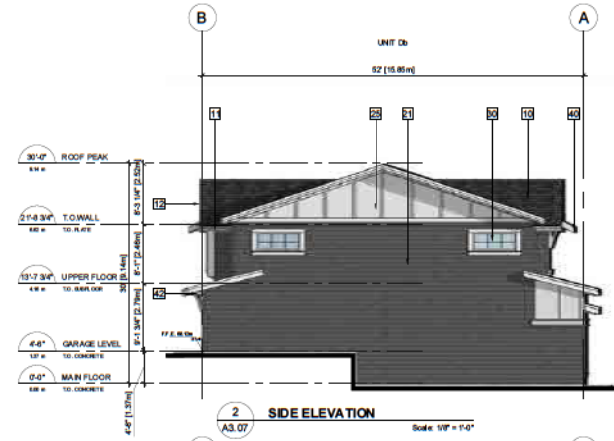
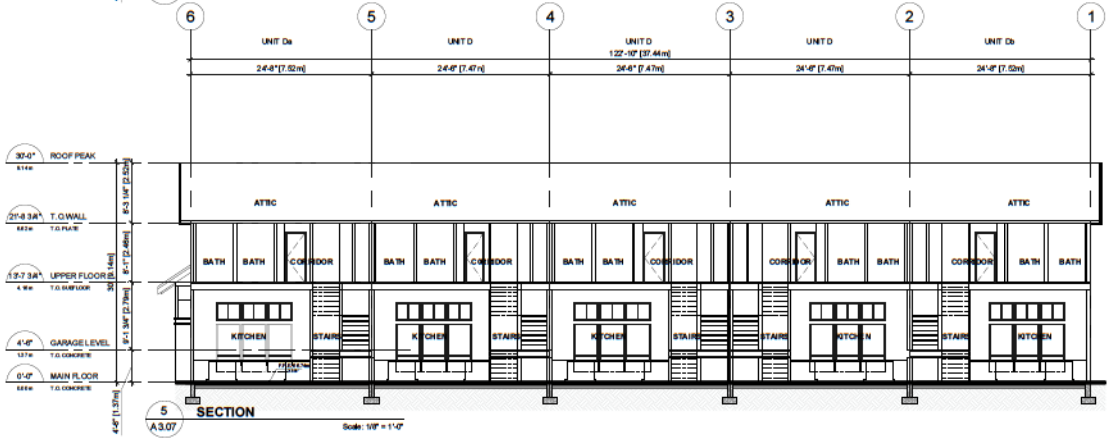
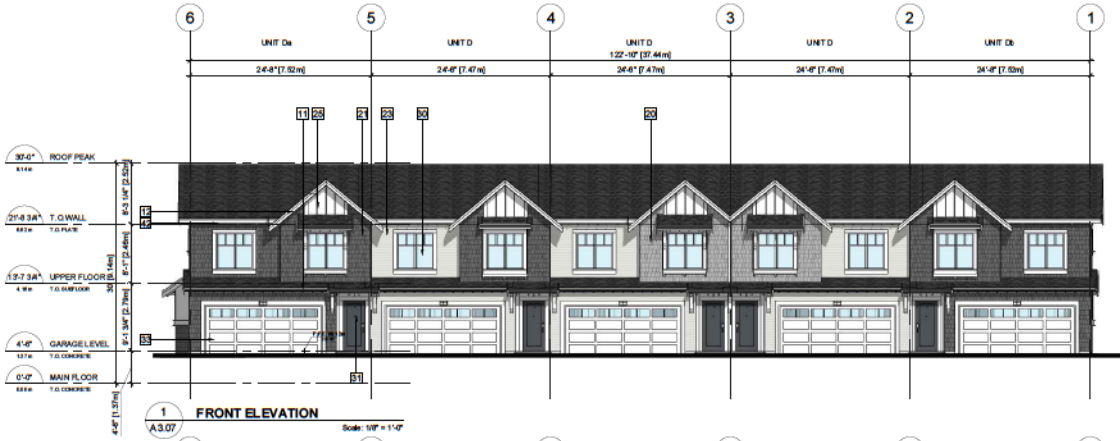
PROJECT NUMBER: CG-18
DRAWN BY: JARA
CHECKED BY: MB
DATE CHECKED: OCT 08, 2015
CONSULTANT:

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2388 128th St
and 12882 24th Ave
SURREY, BC

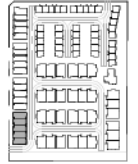
DRAWING TITLE
BUILDING #03 ELEVATIONS & SECTION

DRAWING NO.

A3.03



NOTE:
BUILDINGS 8-10 ARE SIMILAR



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PROJECT NUMBER: CE-18
DRAWN BY: JARA
CHECKED BY: MB
DATE CHECKED: OCT 08, 2015
CONSULTANT:

OCEAN PARK TOWNHOMES
2388 & 2398 128th St
and 12862 24th Ave
SURREY, BC

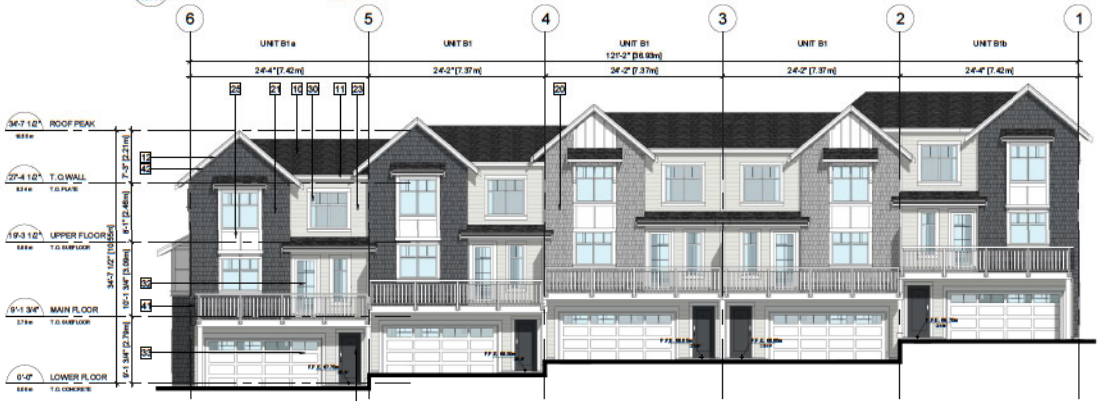
**BUILDING #07
ELEVATIONS & SECTION**

DRAWING NO.

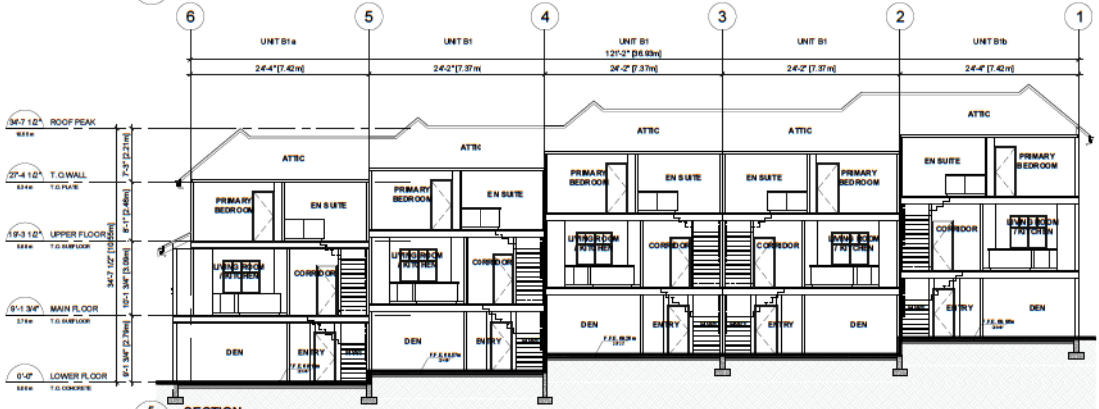
A3.07



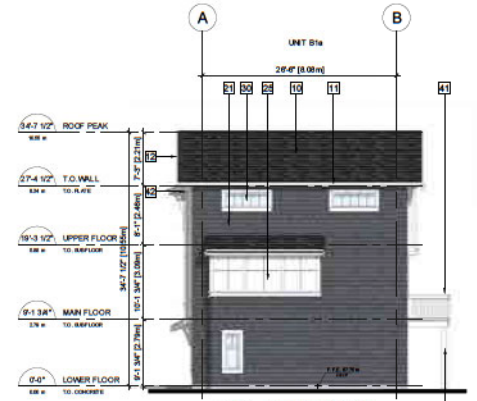
1 FRONT ELEVATION
Scale: 1/8" = 1'-0"



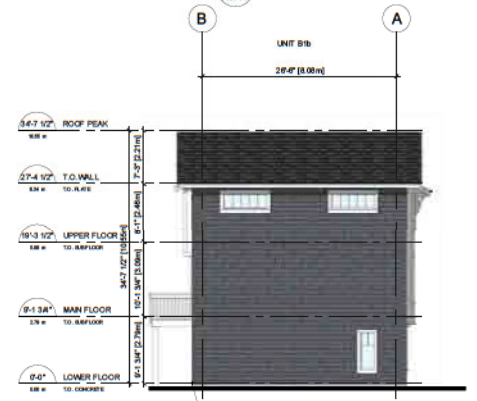
3 REAR ELEVATION
Scale: 1/8" = 1'-0"



5 SECTION
Scale: 1/8" = 1'-0"

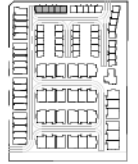


2 SIDE ELEVATION
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION
Scale: 1/8" = 1'-0"

NOTE:
BUILDING 12 IS SIMILAR



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PROJECT
OCEAN PARK TOWNHOMES
2380 & 2381 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE
BUILDING #11 ELEVATIONS & SECTION

DRAWING NO.

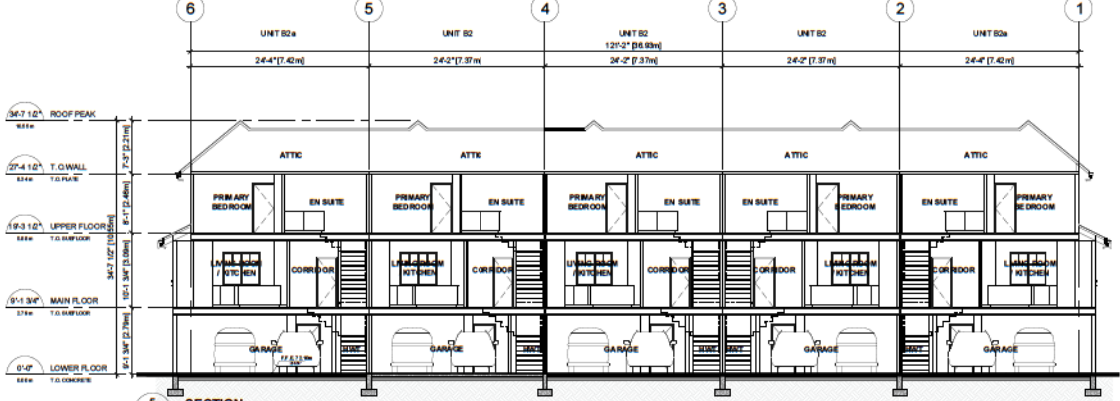
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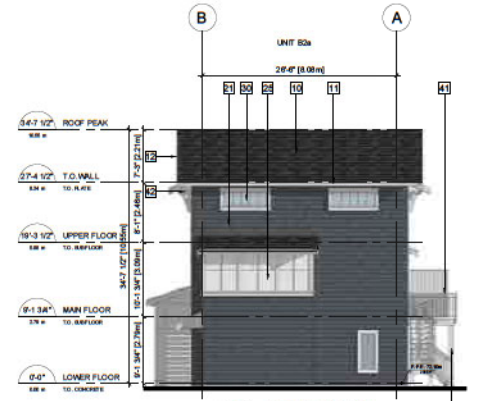
1 FRONT ELEVATION
A3.13 Scale: 1/8" = 1'-0"



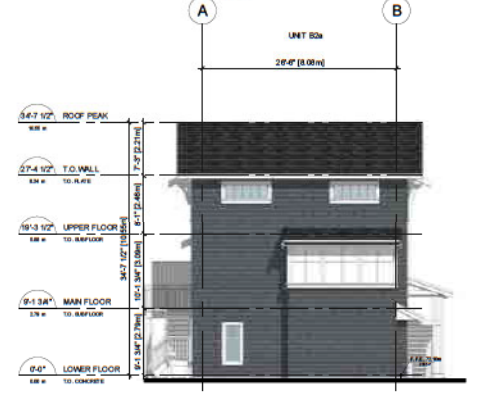
3 REAR ELEVATION
A3.13 Scale: 1/8" = 1'-0"



5 SECTION
A3.13 Scale: 1/8" = 1'-0"

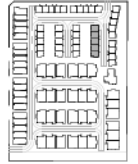


2 SIDE ELEVATION
A3.13 Scale: 1/8" = 1'-0"



4 SIDE ELEVATION
A3.13 Scale: 1/8" = 1'-0"

NOTE:
BUILDINGS 14-16 ARE SIMILAR



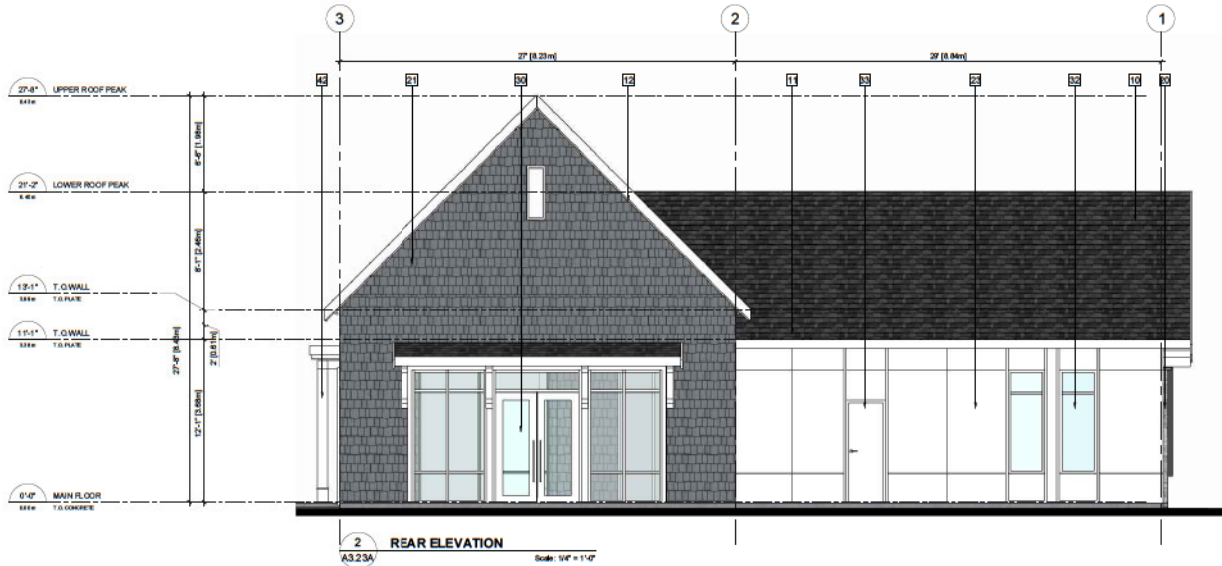
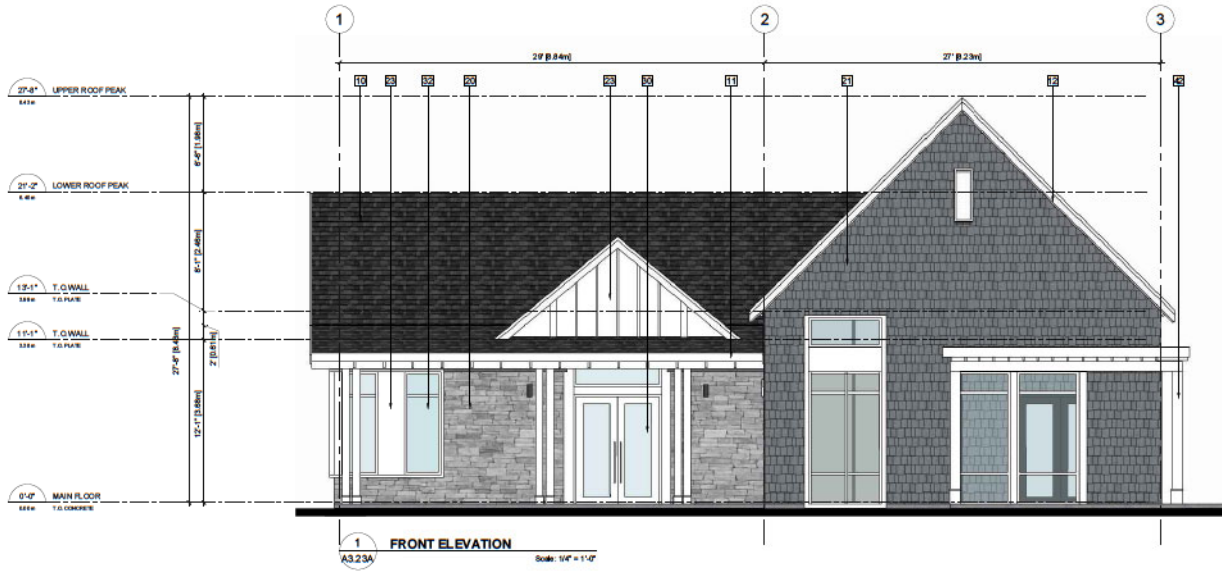
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PROJECT
OCEAN PARK TOWNHOMES
2300 & 2301 120th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE
BUILDING #13 ELEVATIONS & SECTION

DRAWING NO.

A3.13



EKISTICS

ARCHITECTURE

879-488-2855
11800 Hwy 101, Suite 100
Surrey, BC Canada, V3V 2C2

1-800-455-4550
www.ekistics.com

QUALICO

FOXBRIDGE
HOMES
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REVISIONS

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PROJECT

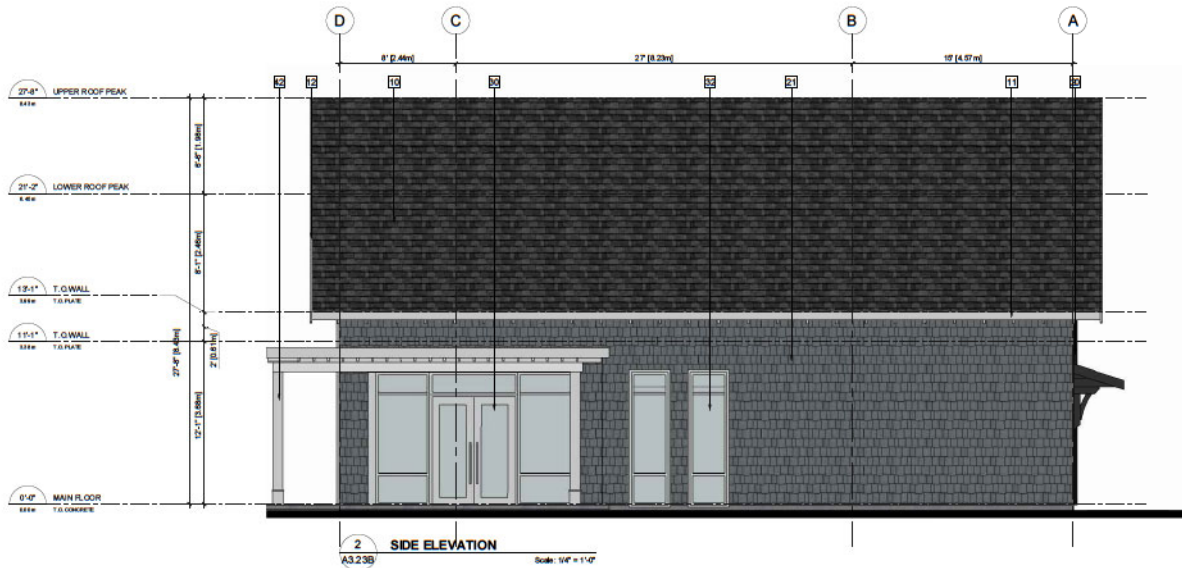
OCEAN PARK TOWNHOMES
2300 & 2308 126th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE

AMENITY ELEVATIONS

DRAWING NO.

A3.23a



REVISIONS

NO.	DATE	DESCRIPTION
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3	2025 02 21	ISSUED FOR DEVELOPMENT PERMIT
1	2024 06 11	ISSUED FOR PRELIMINARY REVIEW

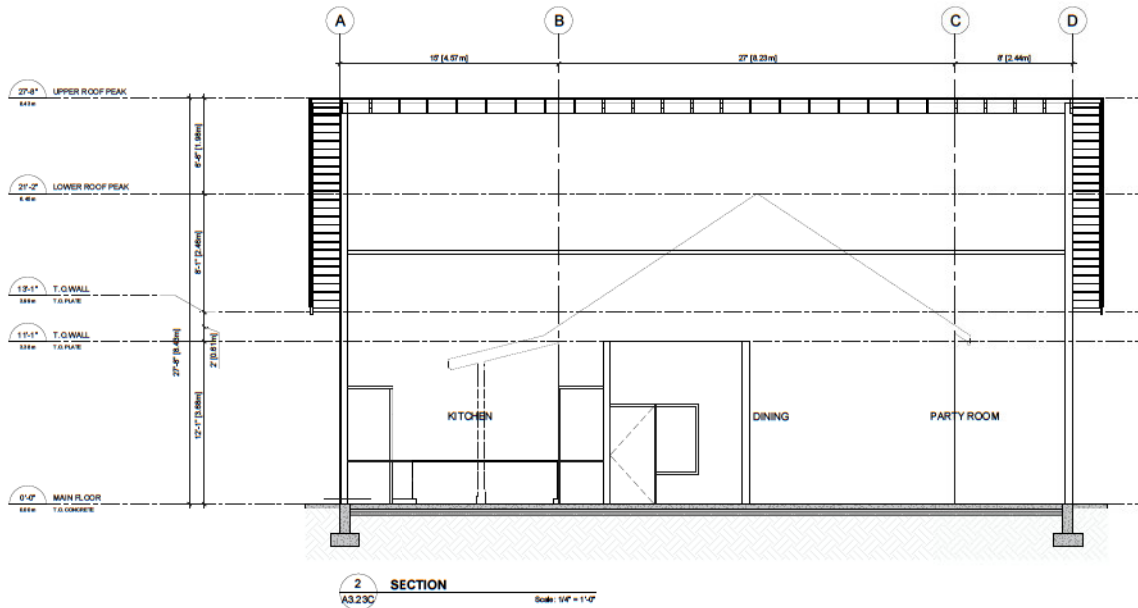
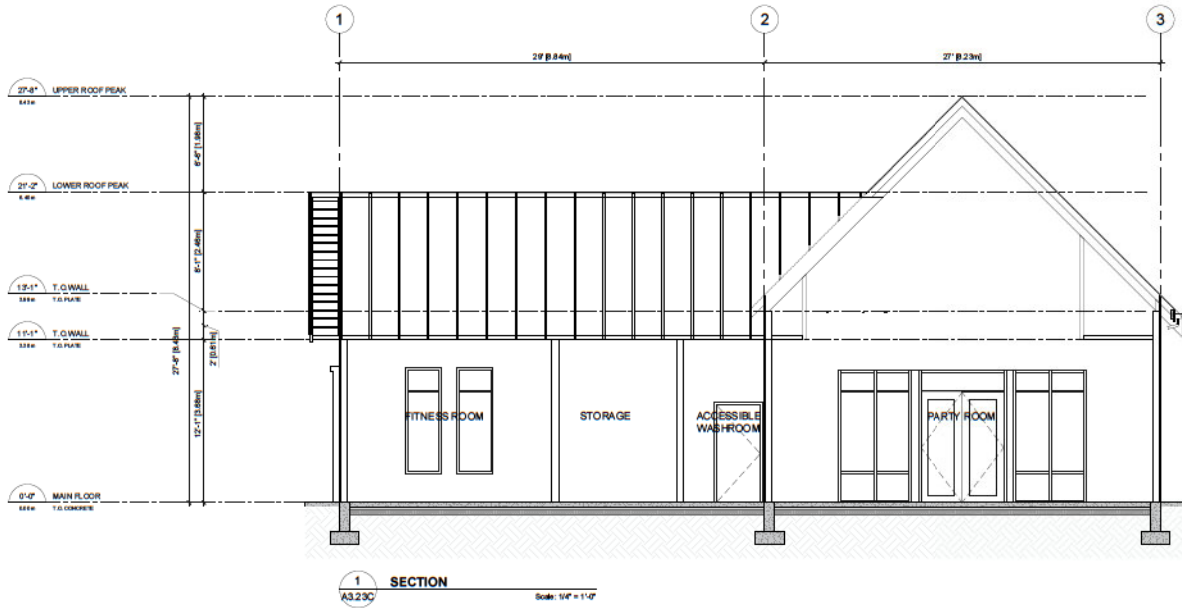
PROJECT NUMBER	CE-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2388 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE
AMENITY ELEVATIONS

DRAWING NO.

A3.23b



REVISIONS

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PROJECT NUMBER	CE-18
DRAWN BY	AMH
CHECKED BY	MB
DATE CHECKED	OCT 18, 2018
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
 2388 & 2388 128th St
 and 12802 24th Ave
 SURREY, BC

DRAWING TITLE
AMENITY SECTION

DRAWING NO.

A3.23c



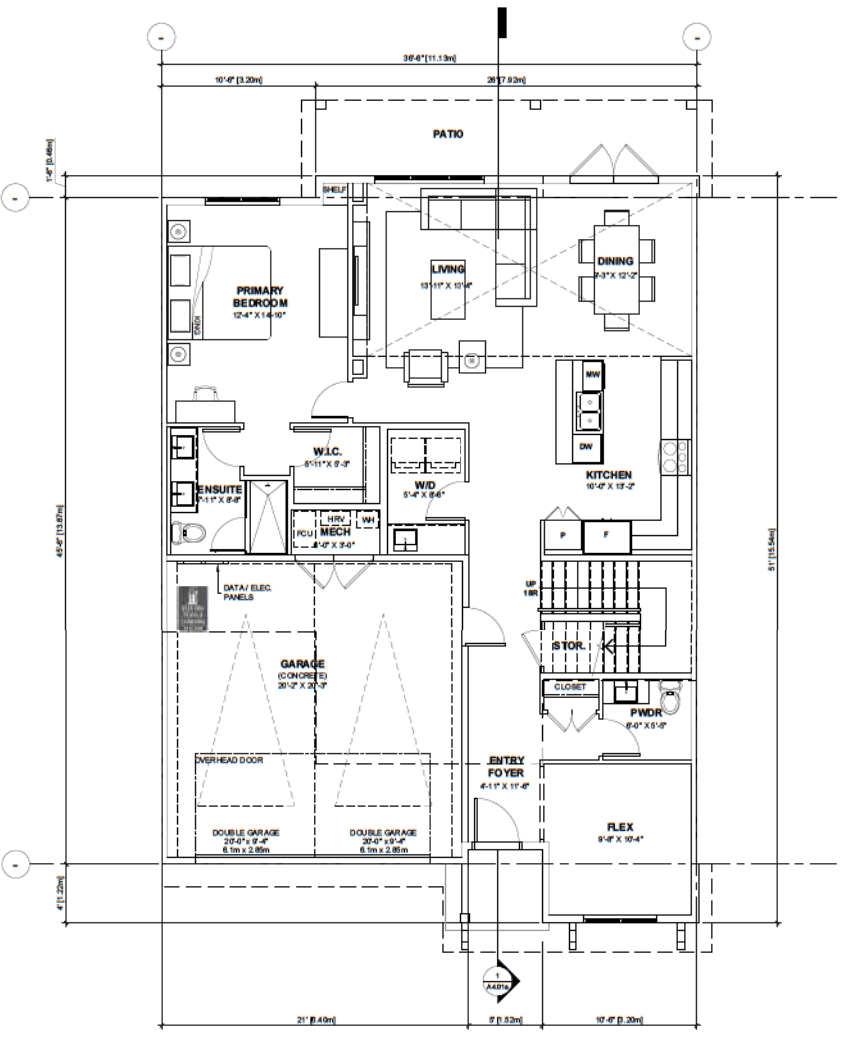
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PROJECT
OCEAN PARK TOWNHOMES
2388 & 2388 128th St
and 12882 24th Ave
SURREY, BC

DRAWING TITLE
UNIT TYPE A (INTERNAL UNIT) FLOOR PLANS

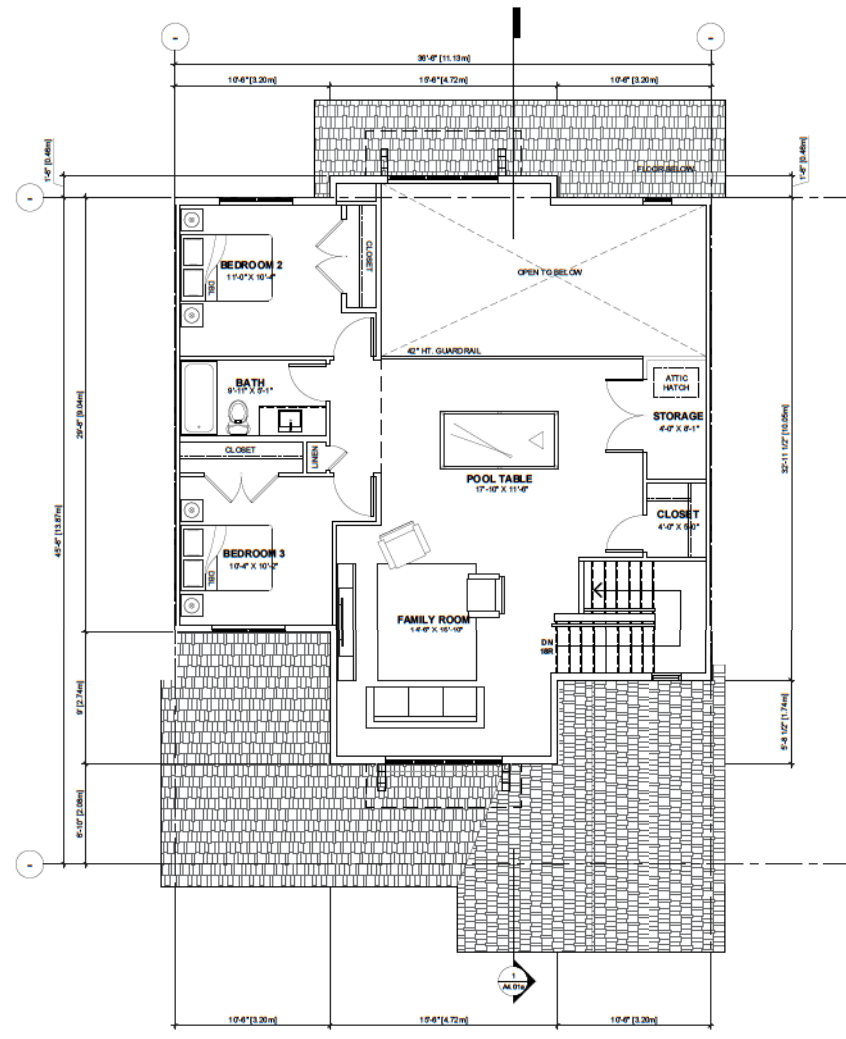
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A4.01

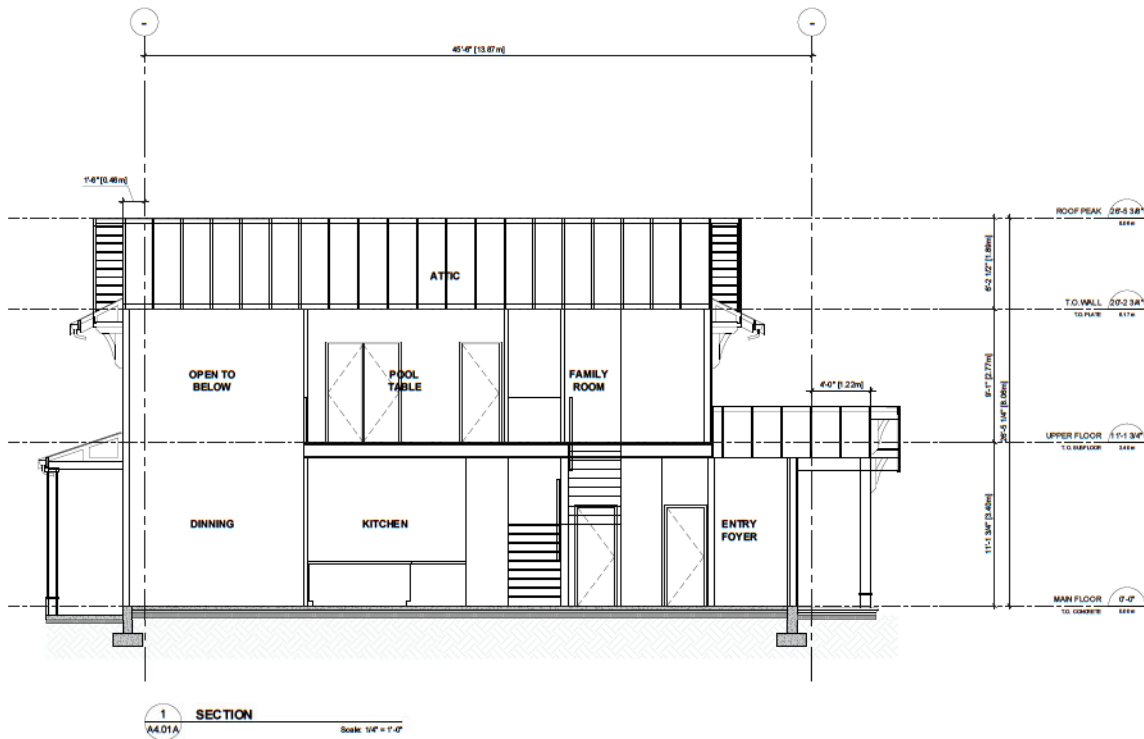


1 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

UNIT A:	S.F.	S.M.
- MAIN FLOOR	1,736.75	161.35
- UPPER FLOOR	1,280.15	118.93
GROSS FLOOR AREA =	3,016.90	280.28
- GARAGE (EXCL.)	434.29	40.35
- MECH./STOR.	21.94	2.04
NET FLOOR AREA =	2,560.61	238.93



2 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"



**STAIR CALCULATION
MAIN FLR. - UPPER FLR.**

HEIGHT: 11'-1 3/4" [3.40m]
 RISE: 19 @ 7.43" [188.88mm]
 RUN: 17 @ 10" [255.00mm]



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PROJECT

OCEAN PARK TOWNHOMES

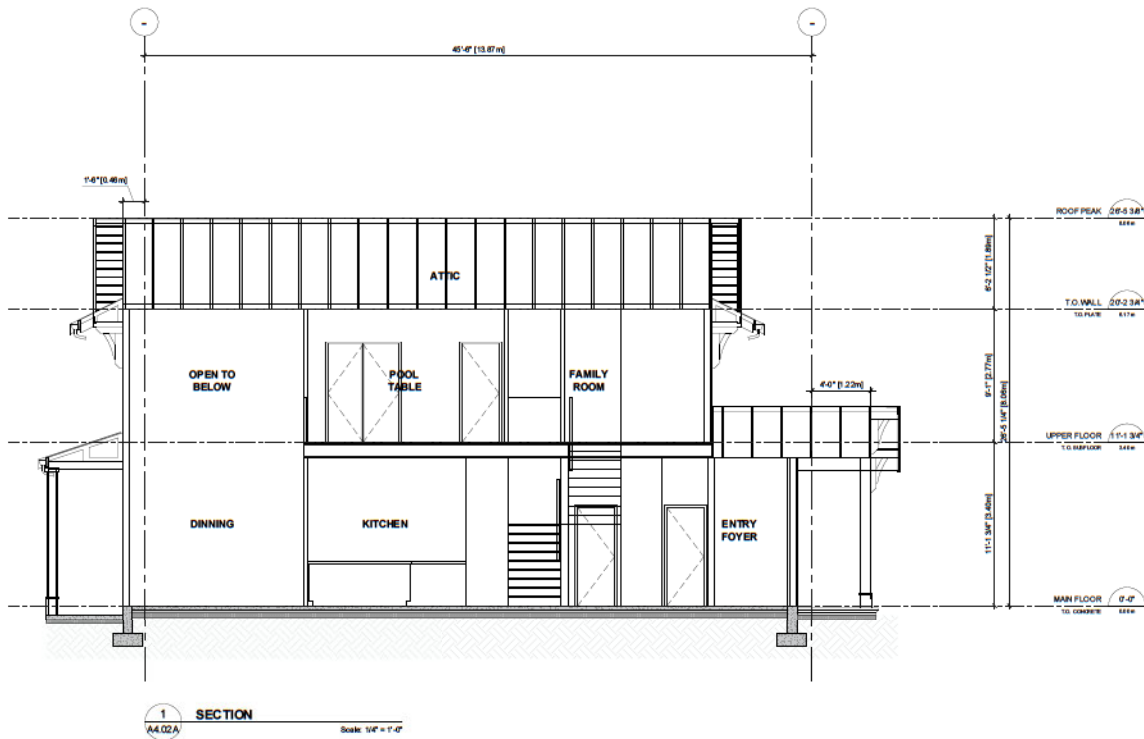
2308 & 2308 128th St
 and 12802 24th Ave
 SURREY, BC

DRAWING TITLE

**UNIT TYPE A
(INTERNAL UNIT)
SECTION**

DRAWING NO.

A4.01a



**STAIR CALCULATION
MAIN FLR. - UPPER FLR.**
 HEIGHT: 11'-1 3/4" [3.40m]
 RISE: 19 @ 7.43" [188.88mm]
 RUN: 17 @ 10" [255.00mm]



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PROJECT
OCEAN PARK TOWNHOMES
 2308 & 2308 128th St
 and 12802 24th Ave
 SURREY, BC

DRAWING TITLE
**UNIT TYPE Aa
(TRUE END UNIT)
SECTION**

DRAWING NO.
A4.02a



REVISIONS

NO.	DESCRIPTION	DATE
1		
2	ISSUED FOR DEVELOPMENT PERMIT	2025-10-28
3	ISSUED FOR DEVELOPMENT PERMIT	2025-02-21
4	ISSUED FOR PRELIMINARY REVIEW	2024-06-11

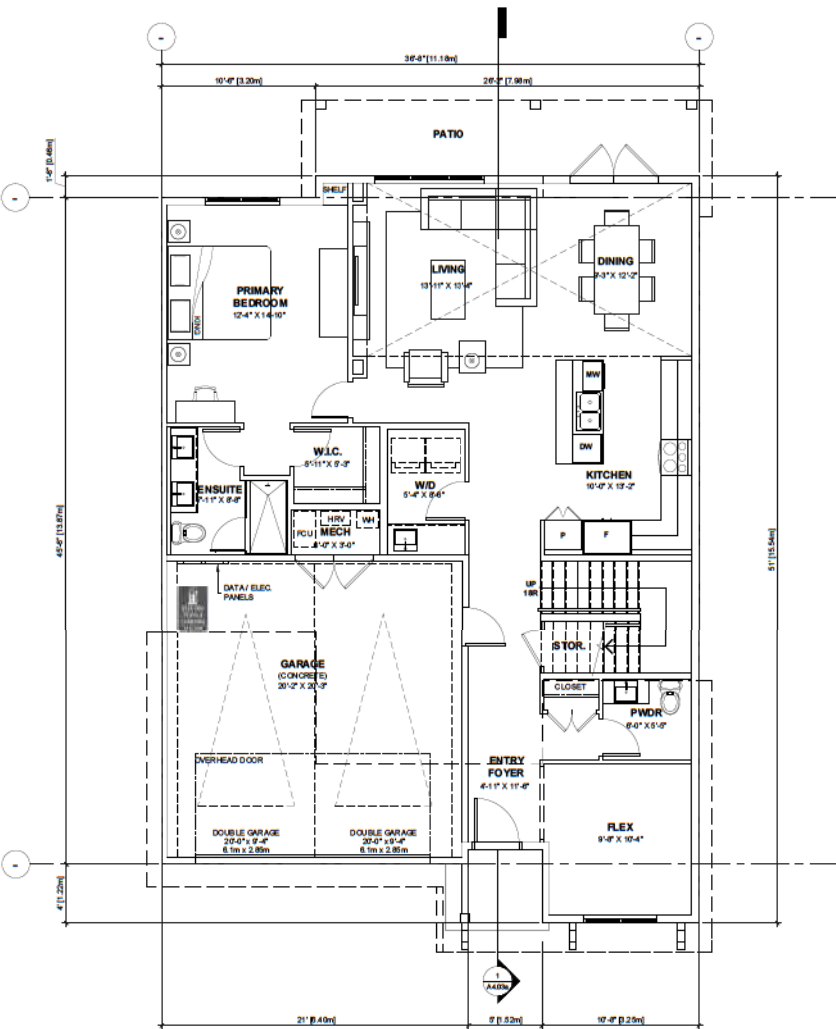
PROJECT NUMBER: CE-18
DRAWN BY: AMR
CHECKED BY: MB
DATE CHECKED: OCT 08, 2025
CONSULTANT:

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2388 128th St
and 12882 24th Ave
SURREY, BC

DRAWING TITLE
UNIT TYPE Aa (INTERNAL END UNIT) FLOOR PLANS

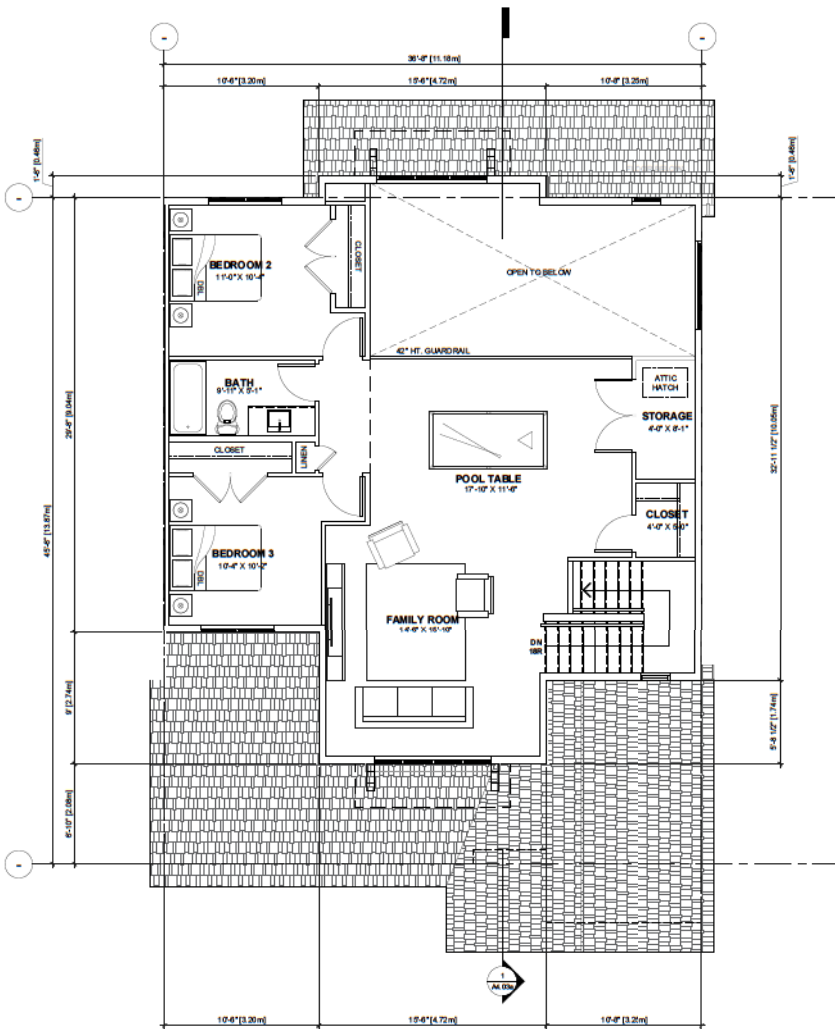
DRAWING NO.

A4.03

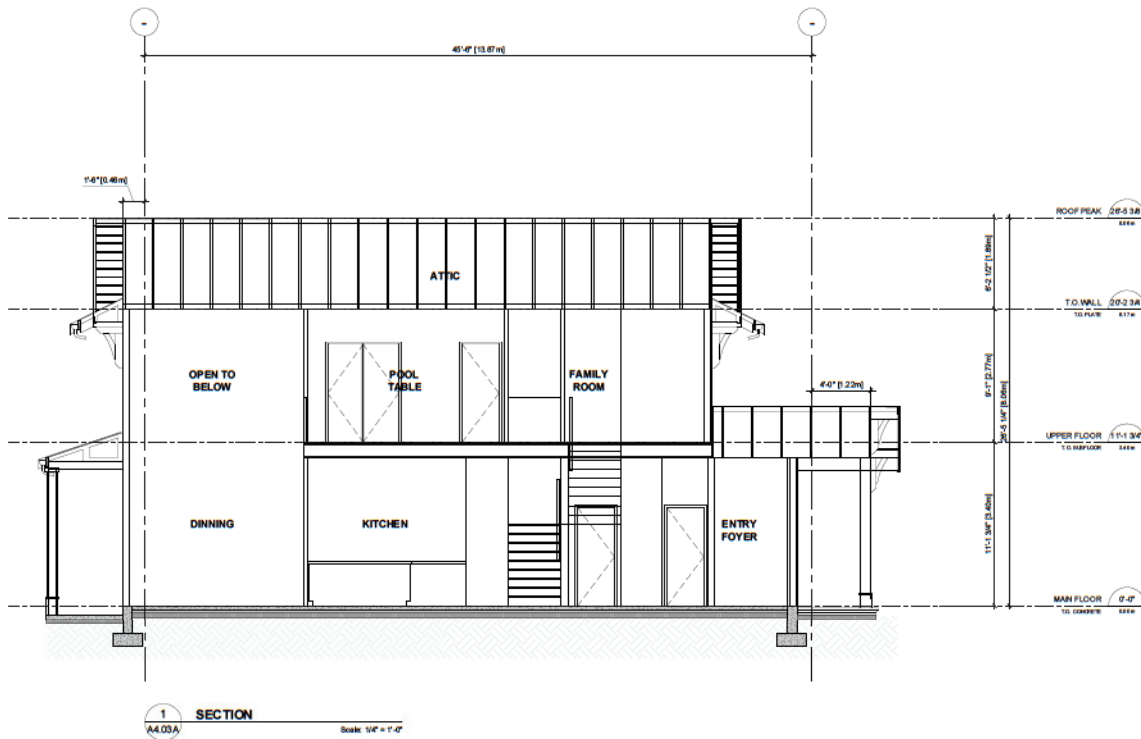


1 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

UNIT Aa:	S.F.	S.M.
- MAIN FLOOR	1,745.25	162.14
- UPPER FLOOR	1,285.64	119.44
GROSS FLOOR AREA =	3,030.89	281.58
- GARAGE (EXCL.)	434.29	40.35
- MECH./STOR.	21.94	2.04
NET FLOOR AREA =	2,596.61	241.23



2 UPPER FLOOR PLAN
Scale: 1/4" = 1'-0"



**STAIR CALCULATION
MAIN FLR. - UPPER FLR.**

HEIGHT: 11'-1 3/4" [3.40m]
RISE: 19 @ 7.43" [188.88mm]
RUN: 17 @ 10" [255.00mm]



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PROJECT

OCEAN PARK TOWNHOMES

2308 & 2308 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE

**UNIT TYPE A6
(INTERNAL END UNIT)
SECTION**

DRAWING NO.

A4.03a

REVISIONS

NO.	DESCRIPTION	DATE
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3	ISSUED FOR DEVELOPMENT PERMIT	2025 02 21
1	ISSUED FOR PRELIMINARY REVIEW	2024 06 11

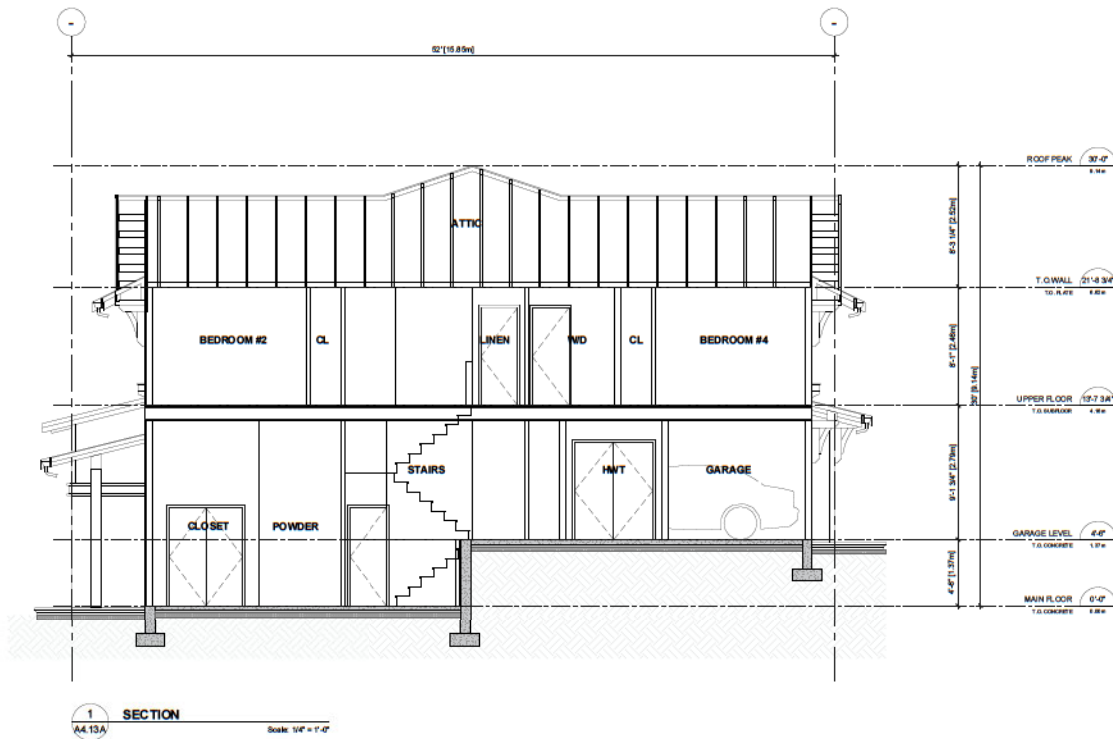
PROJECT NUMBER	CE-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2388 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE
**UNIT TYPE Da
(TRUE END UNIT)
SECTION**

DRAWING NO.

A4.13a



STAIR CALCULATION
MAIN FLR. - GARAGE
HEIGHT: 4'-0" [1.22m]
RISE: 7 @ 7.71" [195.71mm]
RUN: 6 @ 10" [255.00mm]

STAIR CALCULATION
GARAGE - UPPER FLR.
HEIGHT: 9'-1 3/4" [2.79m]
RISE: 14 @ 7.84" [199.28mm]
RUN: 13 @ 10" [255.00mm]



A QUALICO Company

REVISIONS

NO.	DESCRIPTION	DATE
1		
2	ISSUED FOR DEVELOPMENT PERMIT	2025 10 28
3	ISSUED FOR DEVELOPMENT PERMIT	2025 02 21
4	ISSUED FOR PRELIMINARY REVIEW	2024 06 11

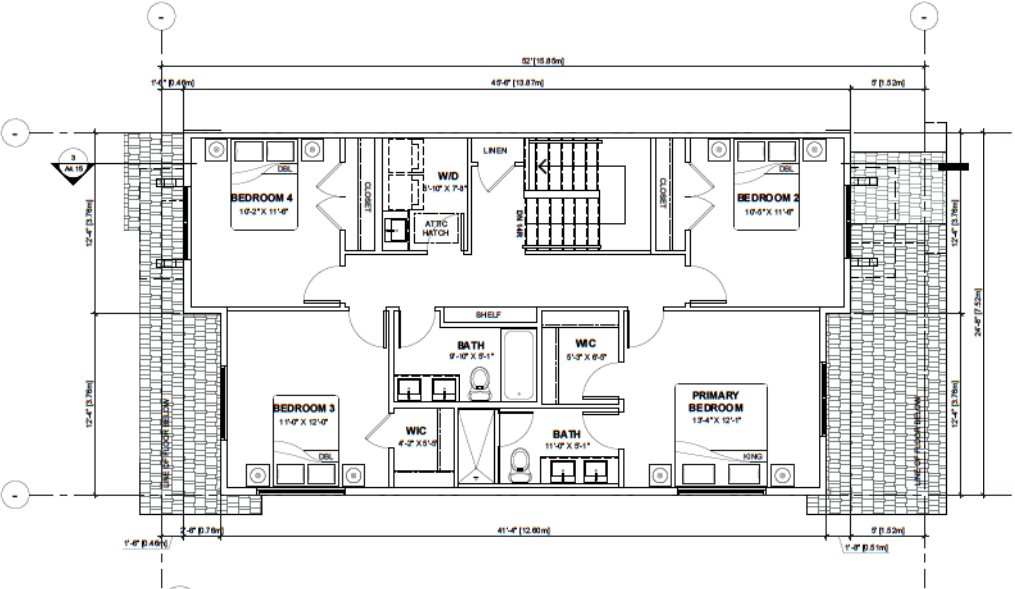
PROJECT NUMBER	CE-18
DRAWN BY	AMH
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2398 128th St
and 12862 24th Ave
SURREY, BC

DRAWING TITLE
UNIT TYPE Dc
(INTERNAL END UNIT)
FLOOR PLANS

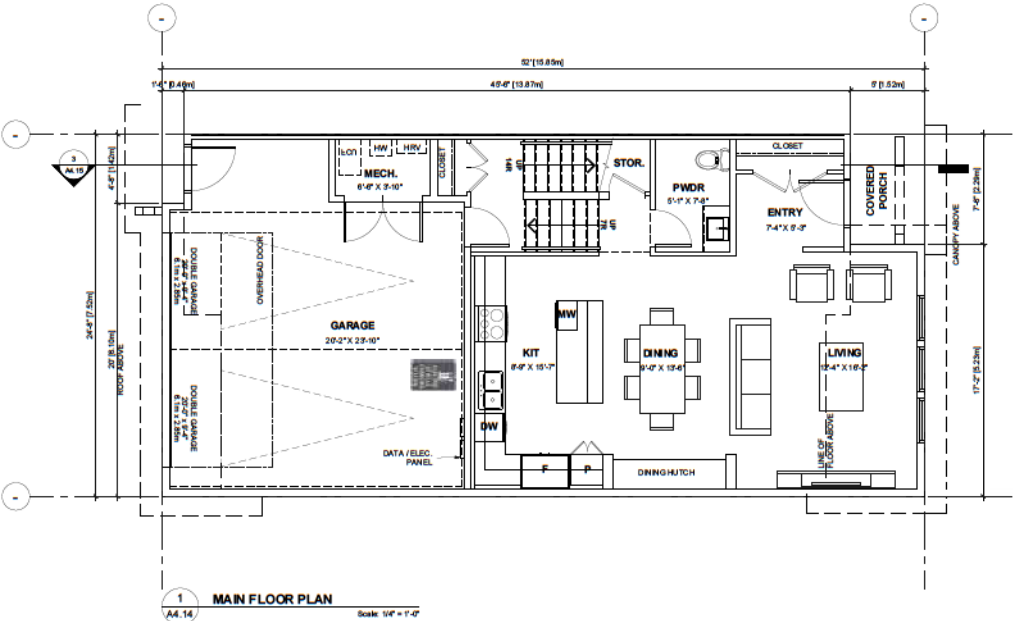
DRAWING NO.

A4.14



UNIT Dc:

	S.F.	S.M.
- MAIN FLOOR	1238.16	115.03
- UPPER FLOOR	1070.94	99.49
GROSS FLOOR AREA =	2,309.10	214.52
- GARAGE (EXCL.)	467.53	43.43
- MECH./STOR.	30.88	2.87
NET FLOOR AREA =	1,841.67	171.09



REVISIONS

NO.	DESCRIPTION	DATE
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3		
4		
5	REQUIRED FOR DEVELOPMENT PERMIT	2025 10 28
6	REQUIRED FOR DEVELOPMENT PERMIT	2025 02 21
7	REQUIRED FOR PRELIMINARY REVIEW	2024 06 11

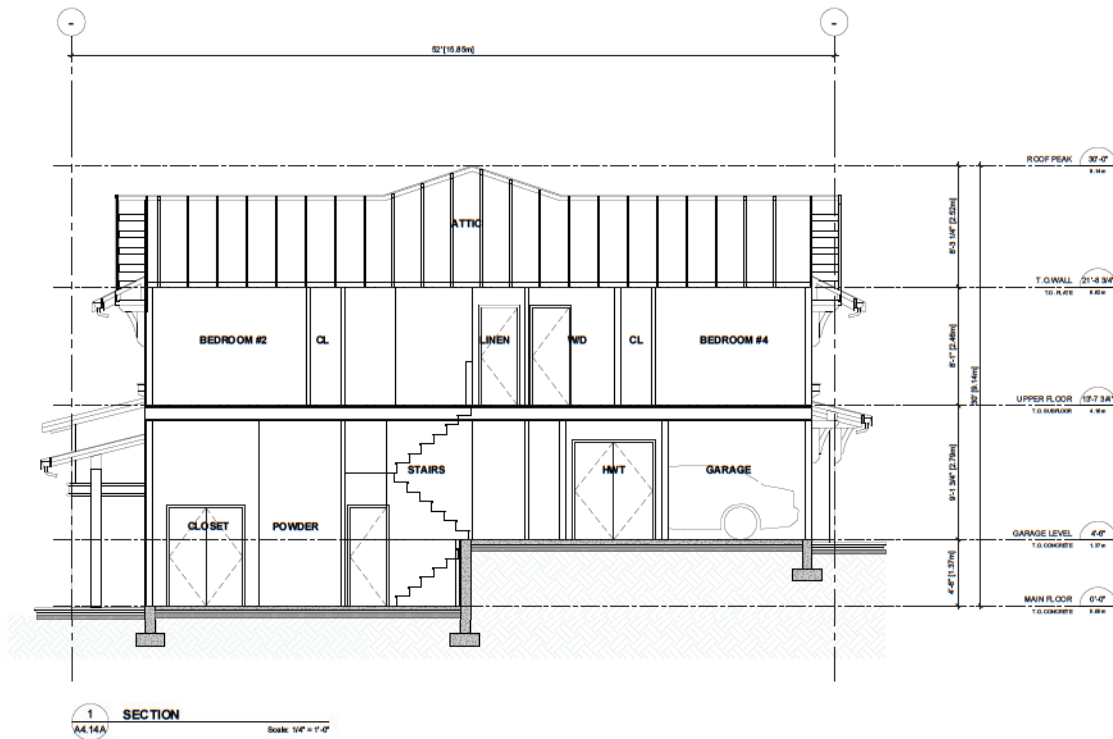
PROJECT NUMBER	CG-18
DRAWN BY	AMM
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2388 & 2388 128th St
and 12802 24th Ave
SURREY, BC

DRAWING TITLE
UNIT TYPE Dc
(INTERNAL END UNIT)
SECTION

DRAWING NO.

A4.14a



STAIR CALCULATION
MAIN FLR. - GARAGE
HEIGHT: 4'-0" [1.37m]
RISE: 7 @ 7.71" [195.71mm]
RUN: 6 @ 10" [255.00mm]

STAIR CALCULATION
GARAGE - UPPER FLR.
HEIGHT: 9'-1 3/4" [2.79m]
RISE: 14 @ 7.84" [199.28mm]
RUN: 13 @ 10" [255.00mm]

1 SECTION
Scale: 1/4" = 1'-0"



ASPHALT SHINGLE PITCHED ROOF
PABCO ANTIQUE BLACK 10



SCHEME 01

FIBRE CEMENT SHINGLE SIDING, PRE-FINISHED
JH-GRAY SLATE 20



SCHEME 02

FIBRE CEMENT SHINGLE SIDING, PRE-FINISHED
JH-NIGHT GRAY 21

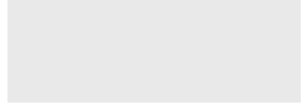


SCHEME 03

FIBRE CEMENT SHINGLE SIDING, PRE-FINISHED
JH-MOUNTAIN SAGE 22



FIBRE CEMENT LAP SIDING, SMOOTH, PRE-FINISHED
JH-LIGHT MIST 23



FIBRE CEMENT PANEL, SMOOTH, PAINTED
BM-MISTY GRAY 2124-60 24



FIBRE CEMENT BOARD & BATTEN, PAINTED
BM-MISTY GRAY 2124-60 25

FIBRE CEMENT TRIM, SMOOTH, 6" PROFILE, PAINTED
BM-MISTY GRAY 2124-60 26

DOUBLE GLAZED, THERMAL VINYL WINDOWS & DOORS
WHITE 30/32

ENTRY/BACK DOOR, METAL CLAD, PRE-FINISHED
BM-RACCOON FUR 2126-20 31

ALUMINUM GUTTER & RWL, PRE-FINISHED
WHITE 40

ALUMINUM GUARDRAIL, PRE-FINISHED
WHITE 41

WOOD DETAILS, BRACKETS, TRELIS, POSTS & RAFTERS
BM-MISTY GRAY 2124-60 42/43

METAL FLASHING, PRE-FINISHED
WHITE 46



EKISTICS

ARCHITECTURE

100-100 Blvd #100, Suite 100
Vancouver, BC V6P 6K6 Tel: 604.683.8888
www.ekistics.com



REVISIONS

REV#	DATE
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PROJECT NUMBER	DL-18
OWNER BY	AAHA
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT
OCEAN PARK TOWNHOMES
2300 & 2300 128th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE
MATERIAL & COLOUR SCHEME BOARD

DRAWING NO.

A5.01



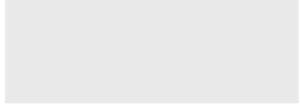
ASPHALT SHINGLE PITCHED ROOF
PABCO ANTIQUE BLACK 10



NATURAL STONE VENEER
CULTURED STONE, SOUTHERN LEDGESTONE, GRAY 20



FIBRE CEMENT SHINGLE SIDING, PRE-FINISHED
JH-NIGHT GRAY 21



FIBRE CEMENT PANEL, SMOOTH, PAINTED
BM-MISTY GRAY 2124-00 22



FIBRE CEMENT BOARD & BATTEN, PAINTED
BM-MISTY GRAY 2124-00 23

ENTRY DOOR, ALUMINUM STOREFRONT W/ GLAZING
PRE-FINISHED, WHITE 30

ALUMINUM STOREFRONT W/ GLAZING
PRE-FINISHED, WHITE 31

THERMAL ALUMINUM WINDOWS, DOUBLE GLAZED
PRE-FINISHED, WHITE 32

WOOD DETAILS, BRACKETS, TRELIS, POSTS & RAFTERS
BM - MISTY GRAY 2124-00 41/42

METAL FLASHING, PRE-FINISHED
WHITE 43

- 10
- 21
- 10
- 22
- 31
- 32
- 42
- 32
- 32
- 41
- 43



REVISIONS

NO.	REVISION	DATE
1		
2		
3		
4		
5	ISSUED FOR DEVELOPMENT PERMIT	2025-10-28
6	ISSUED FOR DEVELOPMENT PERMIT	2025-02-21
7		
8		
9		
10		
11	ISSUED FOR PRELIMINARY REVIEW	2024-06-11

PROJECT NUMBER	DE-18
DRAWN BY	AMR
CHECKED BY	MB
DATE CHECKED	OCT 08, 2025
CONSULTANT	

PROJECT

OCEAN PARK TOWNHOMES

2300 & 2300 128th St
and 12002 24th Ave
SURREY, BC

DRAWING TITLE

MATERIAL & COLOUR SCHEME BOARD

DRAWING NO.

A5.02

LANDSCAPE SITE PLAN

- 1 Entry Monument
- 2 Offsite Tree Boulevard
- 3 Bike Parking
- 4 Existing Trees to be Retained
- 5 PMT
- 6 Pedestrian Connection
- 7 Townhouse Private Yard
- 8 Visitor Parking
- 9 Maintenance Access Pathway
- 10 Gravel Path
- 11 Amenity Building
- 12 Outdoor Amenity space
- 13 10m Landscape Buffer
- 14 Mailboxes



SITE PLAN - NORTH

- 1 Entry Monument
- 2 Offsite Tree Boulevard
- 3 Bike Parking
- 4 Existing Trees to be Retained
- 5 PMT
- 6 Townhouse Private Yard
- 7 Visitor Parking
- 8 Maintenance Access Pathway
- 9 Pedestrian Connection



PHASE 2
PHASE 1

SEE SOUTH ENLARGEMENT



SITE PLAN - SOUTH

- 1 Entry Monument
- 2 Bike Parking
- 3 Existing Trees to be Retained
- 4 PMT
- 5 10m Landscape Buffer
- 6 Townhouse Private Yard
- 7 Pedestrian Connection
- 8 Visitor Parking
- 9 Maintenance Access Pathway
- 10 Gravel Path
- 11 Amenity Building
- 12 Outdoor Amenity space
- 13 Mailboxes
- 14 Offsite Tree Boulevard



SEE NORTH ENLARGEMENT

PHASE 2

PHASE 1

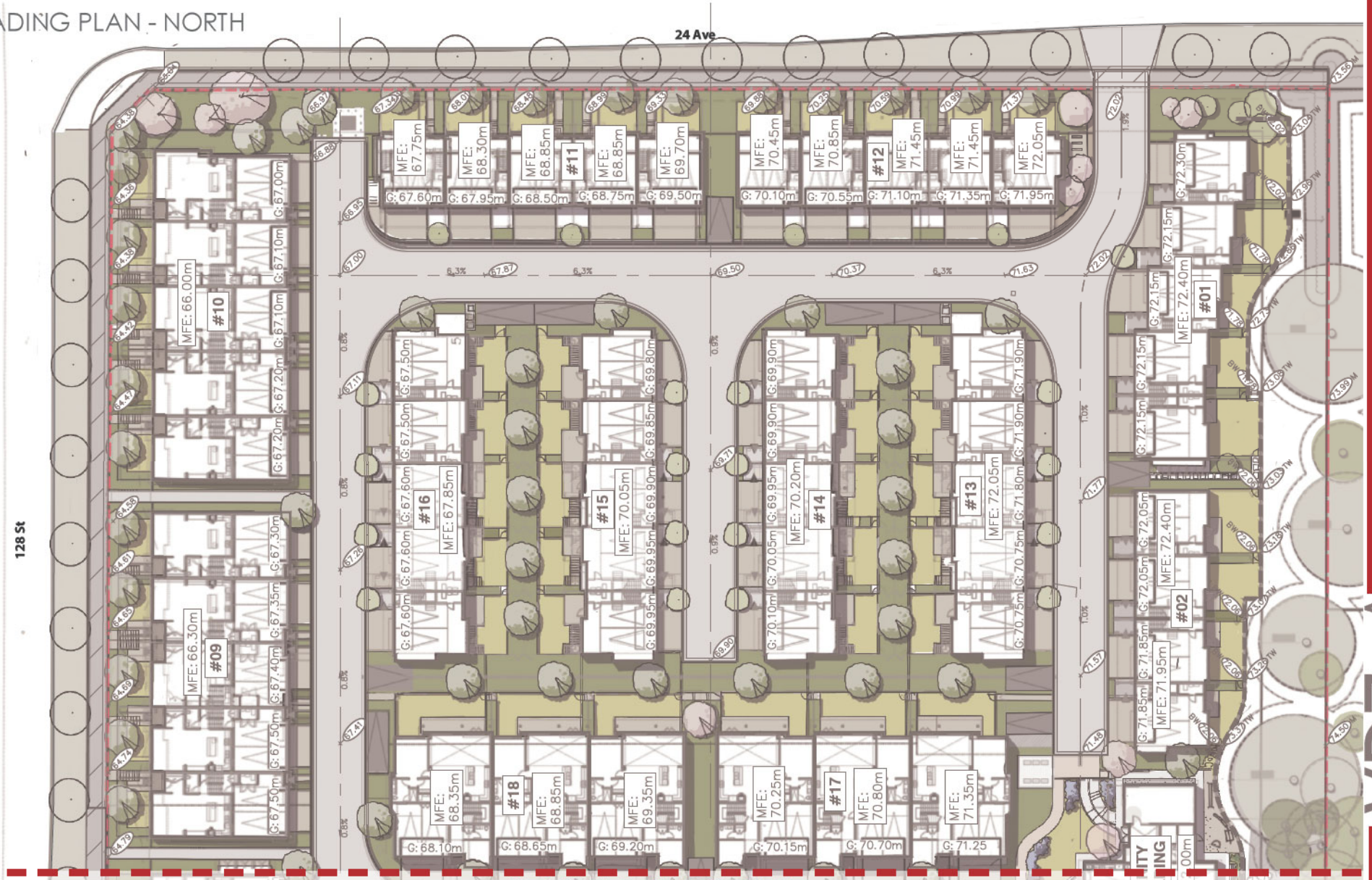
128 St

To 129 St

SRW



GRADING PLAN - NORTH

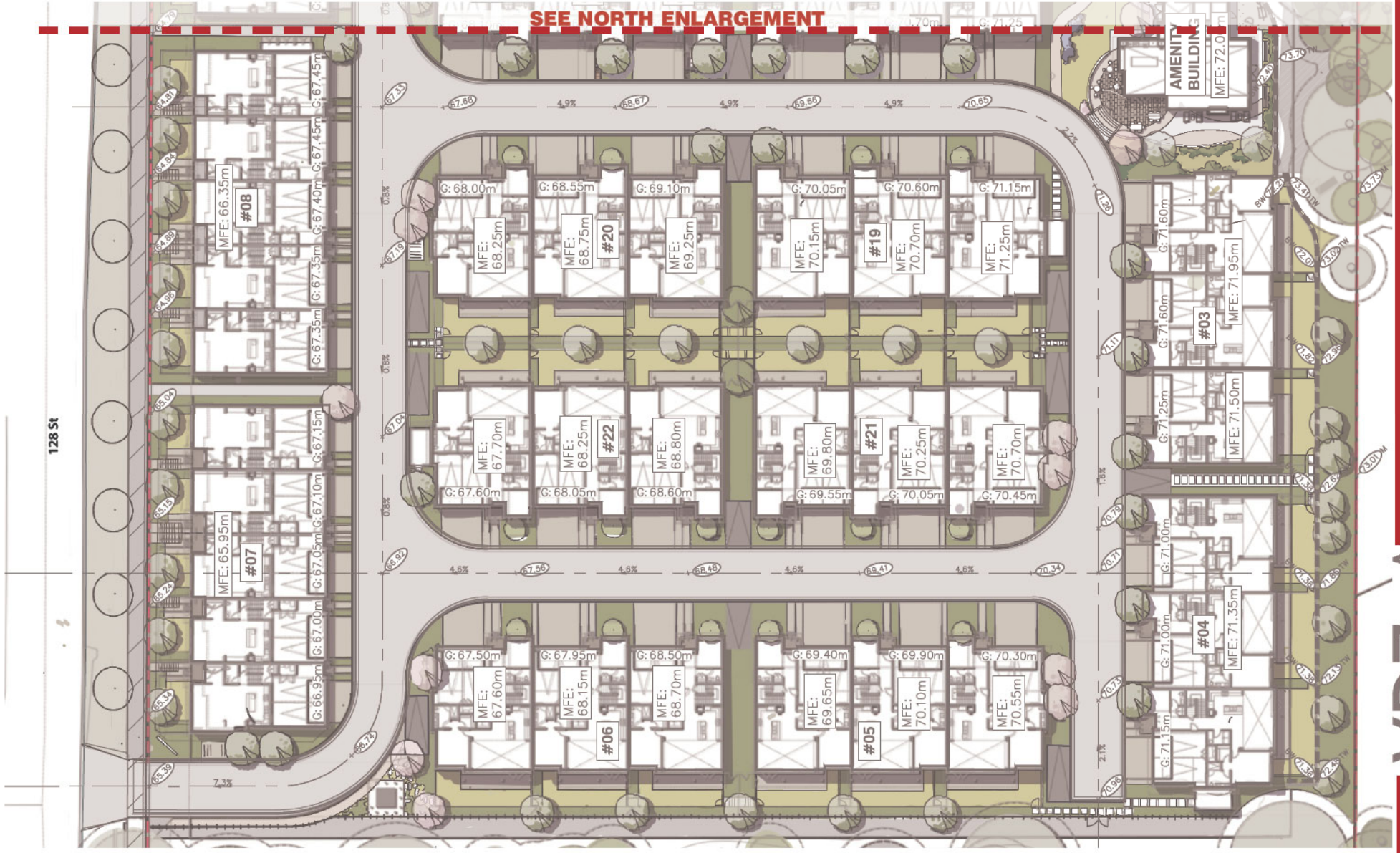


SEE SOUTH ENLARGEMENT



GRADING PLAN - SOUTH

SEE NORTH ENLARGEMENT



AMENITY AREA

- 1** Feature Paving
- 2** Townhouse Private Yard
- 3** Pedestrian Connection
- 4** Visitor Parking
- 5** Retaining Wall
- 6** Existing Trees to be Retained
- 7** Amenity Building
- 8** Mail Boxes
- 9** Stairs
- 10** Ramp
- 11** Open Lawn
- 12** Outdoor Dining
- 13** Natural Play Area
- 14** Maintenance Access Pathway
- 15** Seating Area

MATERIALS



Concrete Paving



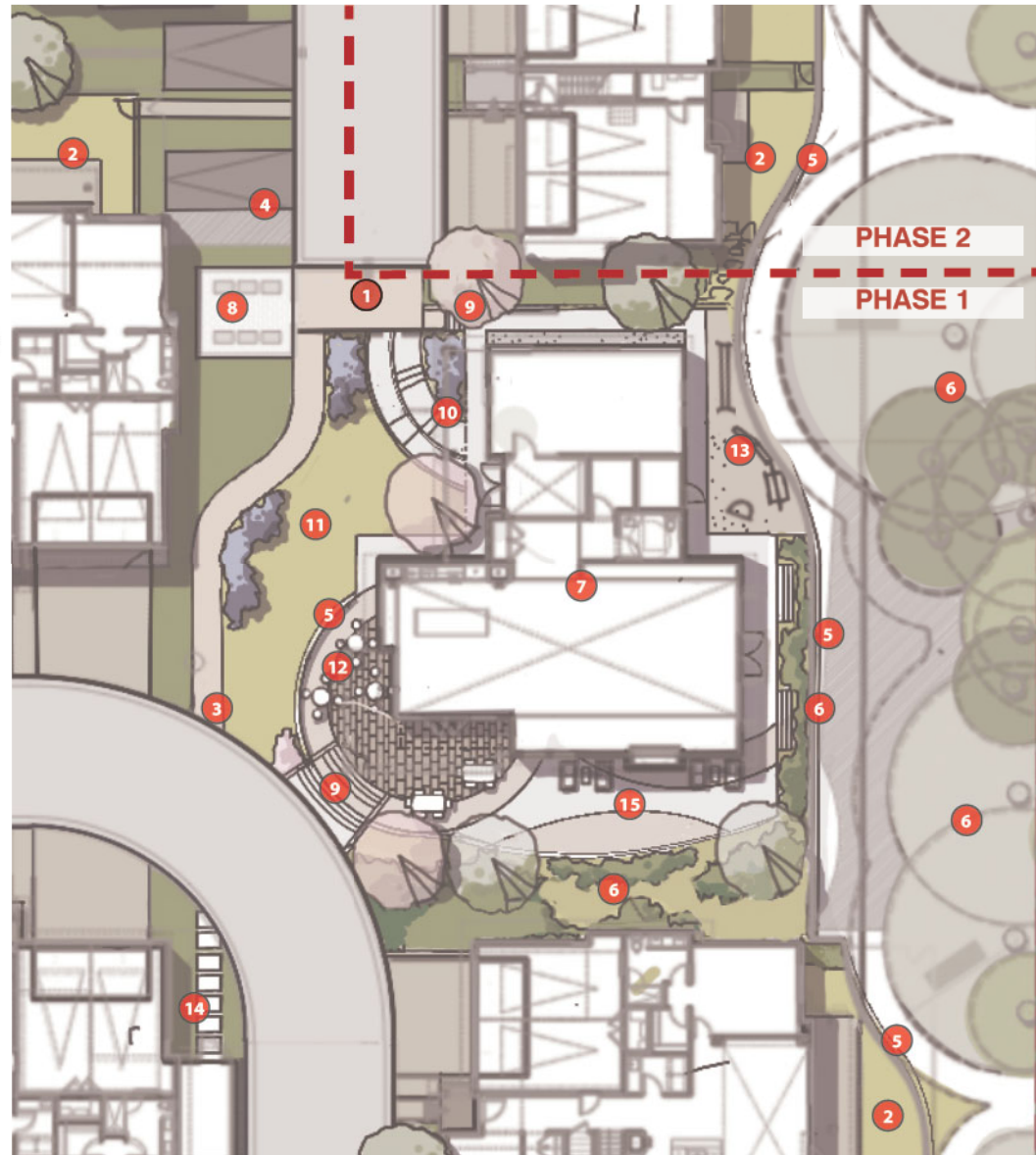
Concrete Unit Pavers



Brick Pavers



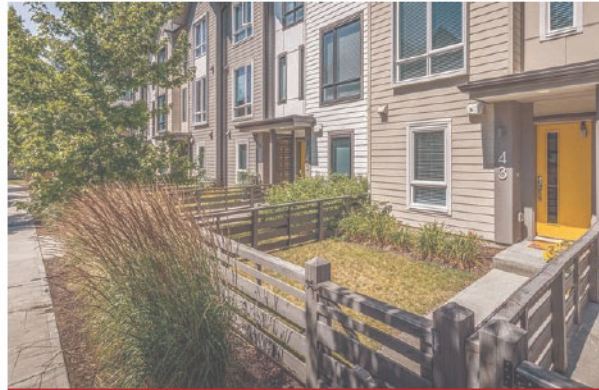
Wood Fibar



PRECEDENT IMAGES - FORM & CHARACTER



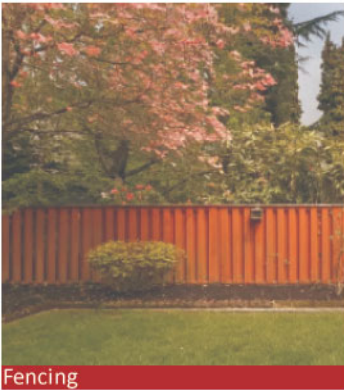
Entry Monument



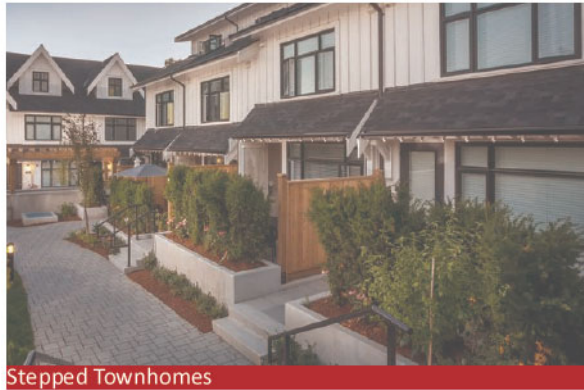
24th Ave. - Frontage



Pedestrian Connection



Fencing



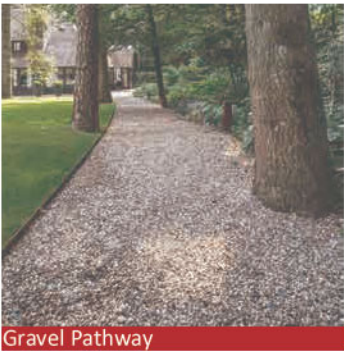
Stepped Townhomes



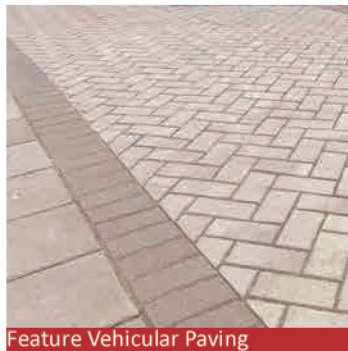
128th St - Frontage



Concrete Planter



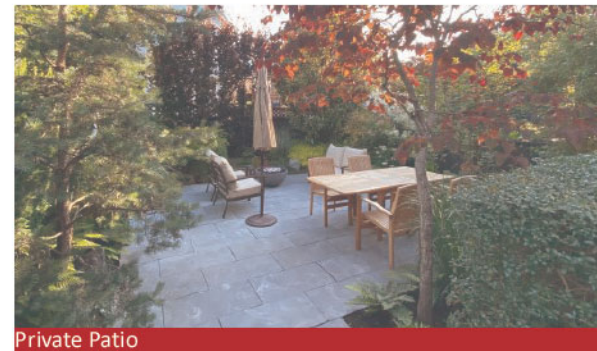
Gravel Pathway



Feature Vehicular Paving



Maintenance Pathway



Private Patio

PRECEDENT IMAGES - AMENITY AREA



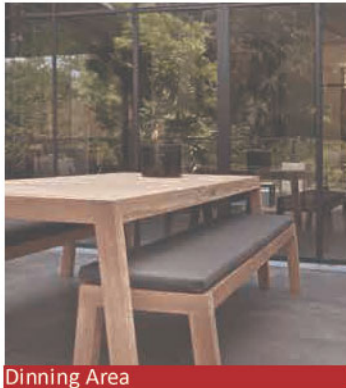
Open Concept



Lawn Area



Seating Circle



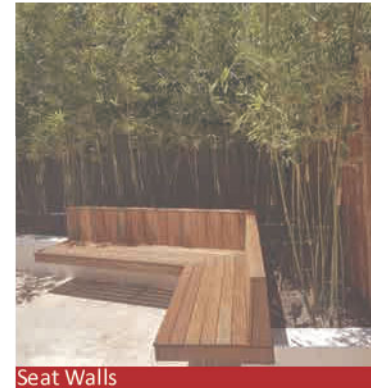
Dinning Area



Communal Propane BBQ



Movable Furniture



Seat Walls



Stairs + Accessible Ramp



Natural play



Retaining Existing Trees

PLANTING PALETTE

TREES



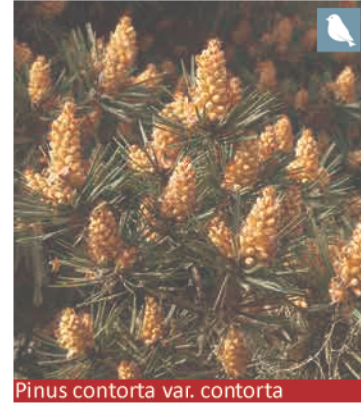
Acer palmatum 'Osakazuki'



Cercis canadensis



Ginkgo biloba



Pinus contorta var. *contorta*



Styrax japonicus 'Snowcone'

SHRUBS



Arbutus unedo 'Compacta'



Azalea 'Gumpo White'



Buxus microphylla 'Green Gem'



Cornus sanguinea 'Midwinter Fire'



Cotinus coggygria 'Young Lady'



Gaultheria shallon



Hydrangea paniculata 'Limelight'



Iberis sempervirens



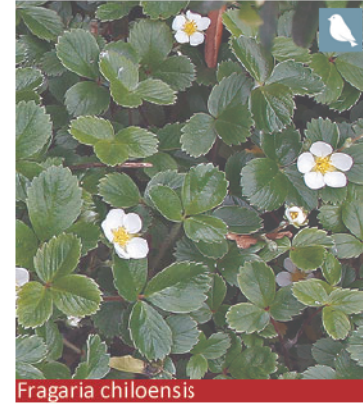
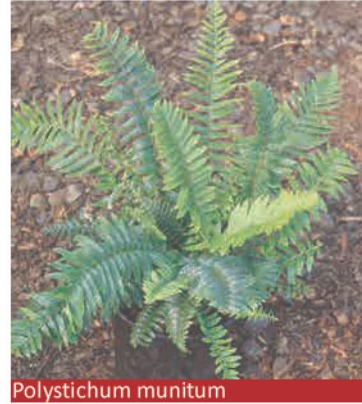
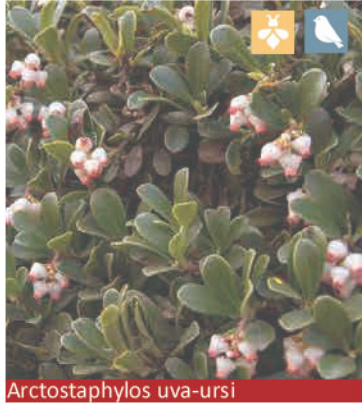
Juniperus squamata 'Blue Star'



Rhododendron macrophyllum

PLANTING PALETTE

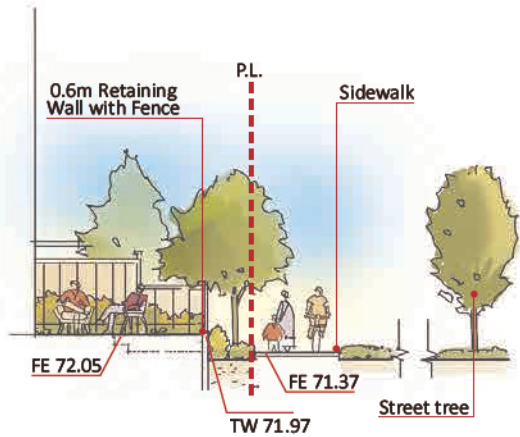
GROUNDCOVER + FERNS



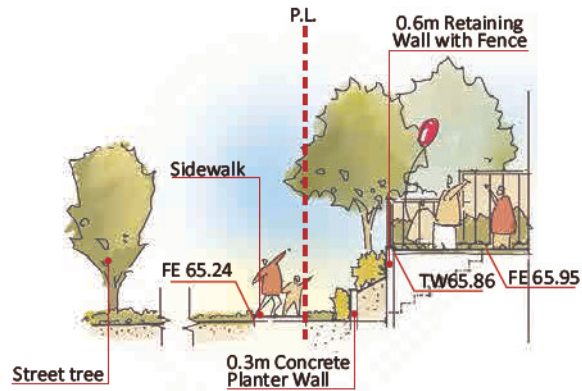
GRASSES + PERENNIALS



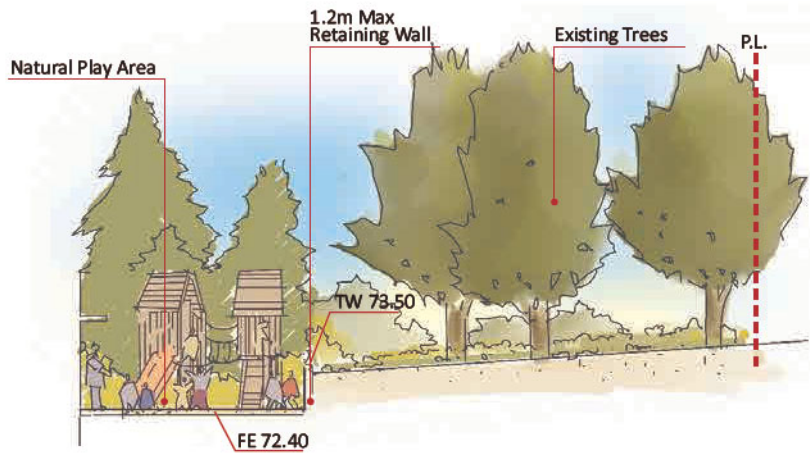
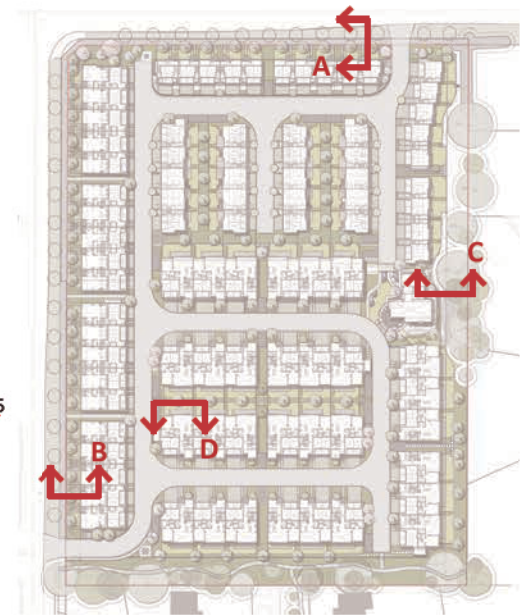
SECTIONS



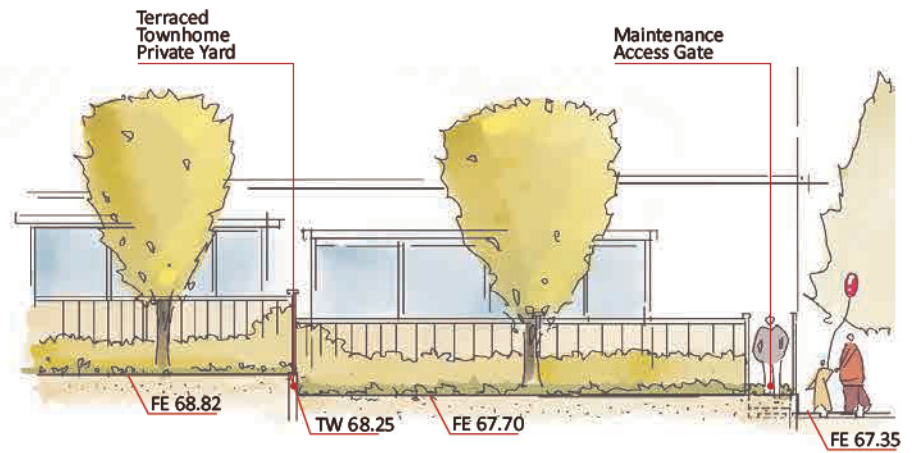
SECTION - A



SECTION - B



SECTION - C



SECTION - D

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7925-0099-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-195-858

Lot 1 Except: Parcel C (Bylaw Plan Lmp5264); Section 17 Township 1 New Westminster District
Plan 16170
2388 128 Street

Parcel Identifier: 008-955-221

Lot 12 Section 17 Township 1 New Westminster District Plan 27059
2308 128 Street

Parcel Identifier: 008-955-255

Lot 13 Section 17 Township 1 New Westminster District Plan 27059
12862 24 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) To vary Section F, Yards and Setbacks in order to reduce the minimum front yard (north) setback of the RM-15 Zone for Buildings 1, 11, and 12 from 7.5 metres to 5.0 metres;

(b) To vary Section F, Yards and Setbacks in order to reduce the minimum side yard (west) setback of the RM-15 Zone for Buildings 7, 8, 9 and 10 from 7.5 metres to 5.0 metres; and

(c) To vary Section F, Yards and Setbacks in order to increase the minimum south yard setback of the RM-15 Zone for Buildings 4,5 and 6 from 7.5 metres to 10.0 metres.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL,
THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor, Brenda Locke

City Clerk and Director Legislative Services,
Jennifer Ficocelli

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PROJECT
OCEAN PARK TOWNHOMES
 2388 & 2388 128th St
 and 12802 24th Ave
 SURREY, BC

DRAWING TITLE
OVERALL SITE PLAN

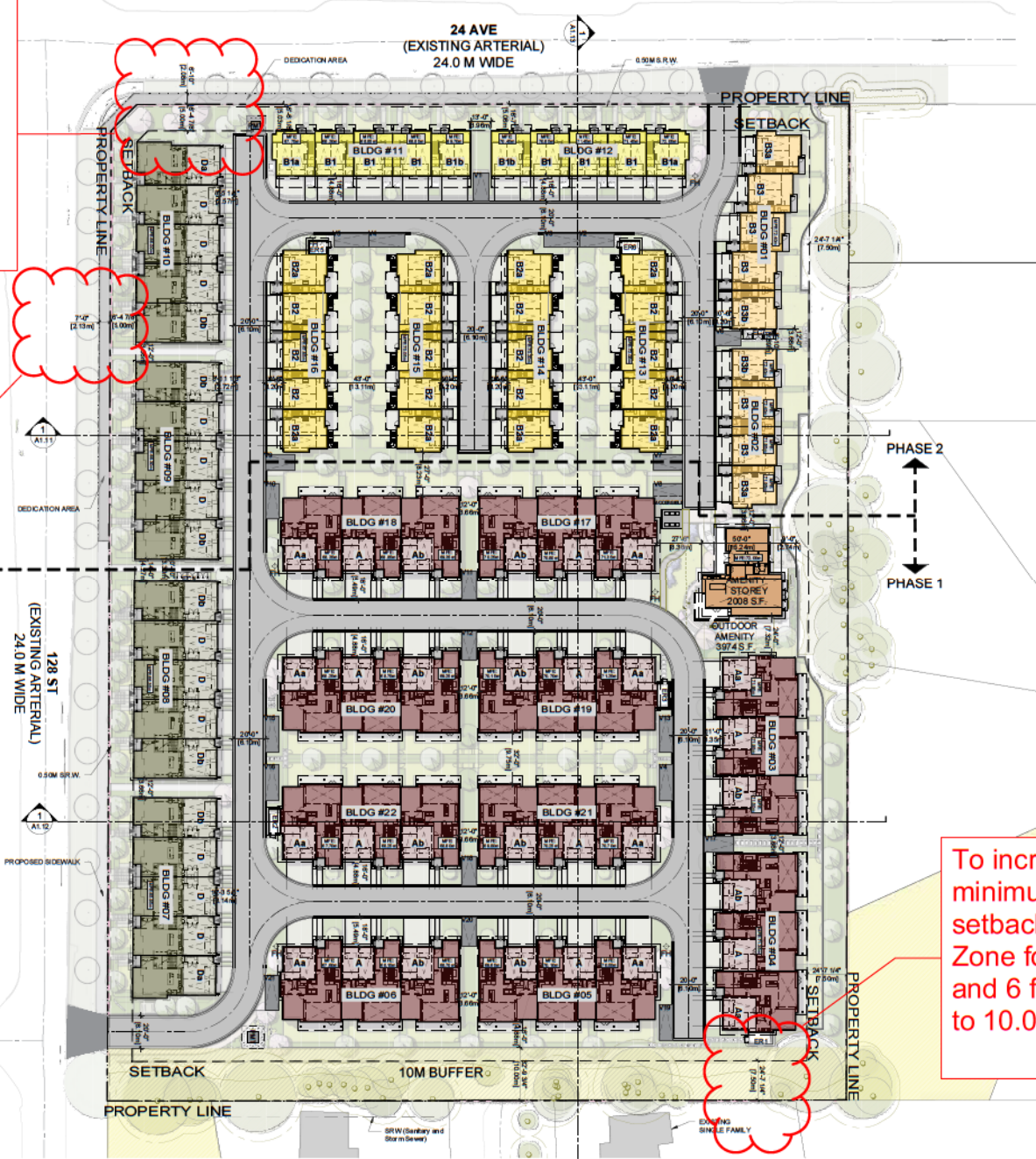
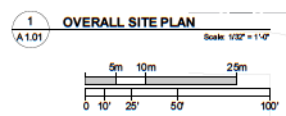
DRAWING NO.

A1.01

To reduce the minimum front yard (north) setback of the RM-15 Zone for Buildings 1, 11, and 12 from 7.5 metres to 5.0 metres;

To reduce the minimum side yard (west) setback of the RM-15 Zone for Buildings 7, 8, 9 and 10 from 7.5 metres to 5.0 metres; and

To increase the minimum south yard setback of the RM-15 Zone for Buildings 4, 5 and 6 from 7.5 metres to 10.0 metres.



TO: **Director, Development Planning, Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **November 07, 2025**

PROJECT FILE: **7825-0099-00**

RE: **Engineering Requirements**

Location: 2388 128 St

OCP AMENDMENT/ DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to the OCP Amendment, Development Permit, or Development Variance Permit.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m on 24 Ave.
- Dedicate 1.942 m on 128 St.
- Register 10 m SRW for park pathway.

Works and Services

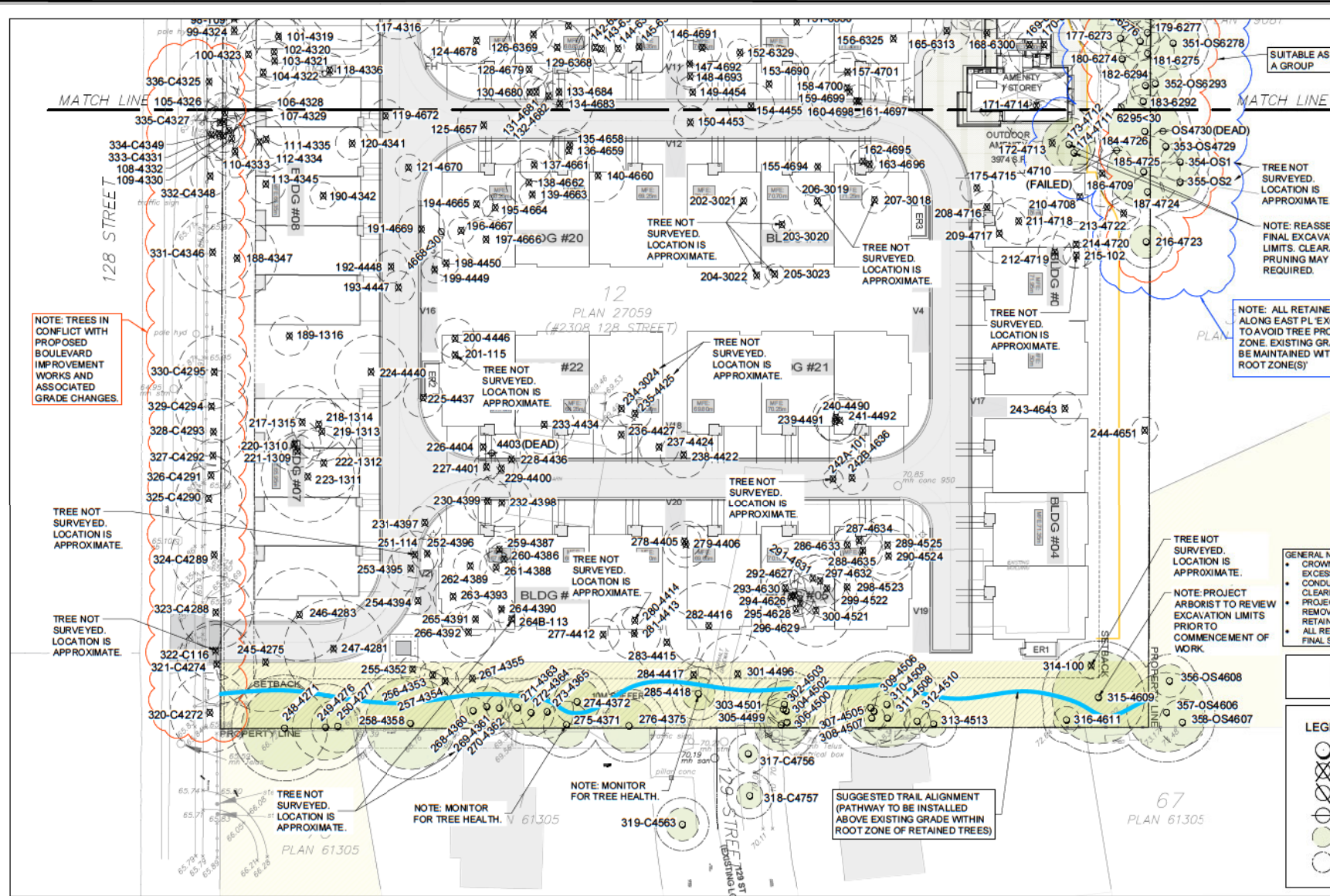
- Construct the south side of 24 Ave.
- Construct the sidewalk on 128 St.
- Construct the park pathway.
- Provide an onsite pedestrian walkway from 129 St to 128 St and 24 Ave.
- Construct the sanitary mains on 24 Ave and 128 St.
- Prepare a stormwater control plan to assess downstream capacity and address constraints.
- Implement sustainable drainage features as per Ocean Bluff-Chantrell Creek ISMP.
- Provide driveway, water, sanitary, and drainage service connections to the lot.

A Servicing Agreement is required prior to Rezone/Subdivision.



Jeff Pang, P.Eng.
Director, Land Development

JNC



NOTE: TREES IN CONFLICT WITH PROPOSED BOULEVARD IMPROVEMENT WORKS AND ASSOCIATED GRADE CHANGES.

TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

NOTE: MONITOR FOR TREE HEALTH.

NOTE: MONITOR FOR TREE HEALTH.

SUGGESTED TRAIL ALIGNMENT (PATHWAY TO BE INSTALLED ABOVE EXISTING GRADE WITHIN ROOT ZONE OF RETAINED TREES)

SUITABLE AS A GROUP

TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

NOTE: REASSESS WITH FINAL EXCAVATION LIMITS. CLEARANCE PRUNING MAY BE REQUIRED.

NOTE: ALL RETAINED TREES ALONG EAST PL. EXCAVATION TO AVOID TREE PROTECTION ZONE. EXISTING GRADES TO BE MAINTAINED WITHIN THE ROOT ZONE(S)

TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

NOTE: PROJECT ARBORIST TO REVIEW EXCAVATION LIMITS PRIOR TO COMMENCEMENT OF WORK.

- GENERAL NOTES:
- CROWN CLEAN ANY RETAINED TREES WITH EXCESSIVE DEADWOODS.
 - CONDUCT EDGE TREE RISK ASSESSMENT POST LAND CLEARING.
 - PROJECT ARBORIST TO MONITOR STUMP REMOVAL/RINDING WITHIN ROOT ZONE(S) OF RETAINED TREES.
 - ALL RETAINED TREES TO BE REASSESSED WITH FINAL SERVICING AND GRADING PLANS.



- LEGEND
- TREE TO BE RETAINED
 - ⊗ TREE TO BE REMOVED
 - NON BY-LAW TREE
 - ⊗ DEAD / FAILED / SNAG TREE
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE

NO.	DATE	BY	REVISION
1	JAN10/25	MK	SITE PLAN
2	JAN22/25	MK	CIVIL PLAN
3	FEB06/25	MK	SITE PLAN
4	FEB14/25	MK	SITE PLAN
5	FEB20/25	MK	CIVIL PLAN

NO.	DATE	BY	REVISION
6	AUG14/25	MK	SITE PLAN
7	AUG22/25	MK	SITE PLAN
8	OCT07/25	MK	SITE PLAN
9	NOV09/25	MK	SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3V0A6
Ph: (778) 593-0300
Fax: (778) 593-0392
Email: m.fadum@fadum.ca

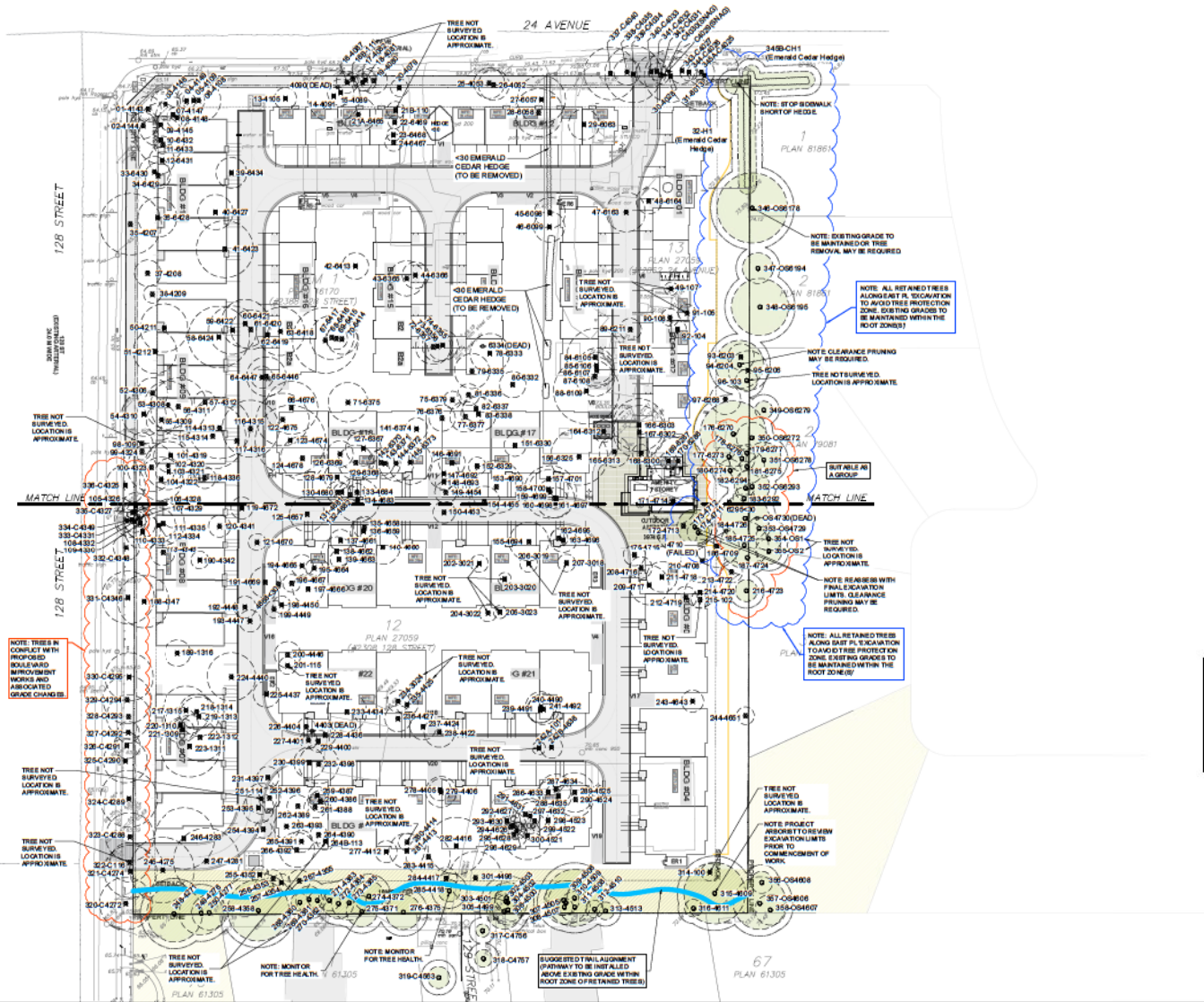
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PROJECT TITLE
2388 & 2308 128th STREET
AND 12862 24th AVENUE
SURREY, B.C.

SHEET TITLE
T1B - TREE REMOVAL AND PRESERVATION PLAN
CLIENT

DRAWN MK
SCALE AS SHOWN
DATE APRIL 03, 2024

T-1B
SHEET 3 OF 6



- GENERAL NOTES:**
- CROWN CLEAN ANY RETAINED TREES WITH EXCESSIVE DEADWOODS.
 - CONDUCT EDGE TREE RISK ASSESSMENT POST LAND CLEARING.
 - PROJECT ARBORIST TO MONITOR STUMP REMOVAL/RUNNING WITHIN ROOT ZONE(S) OF RETAINED TREES.
 - ALL RETAINED TREES TO BE REASSESSED WITH FINAL SERVICING AND GRADING PLANS.

- LEGEND**
- TREE TO BE RETAINED
 - ⊗ TREE TO BE REMOVED
 - NON BY-LAW TREE
 - ⊗ DEAD / FAILED / SNAG TREE
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE

NO.	DATE	BY	REVISION
1	JAN10/25	MK	SITE PLAN
2	JAN22/25	MK	CIVIL PLAN
3	FEB06/25	MK	SITE PLAN
4	FEB14/25	MK	SITE PLAN
5	FEB20/25	MK	CIVIL PLAN

NO.	DATE	BY	REVISION
6	AUG14/25	MK	SITE PLAN
7	AUG22/25	MK	SITE PLAN
8	OCT07/25	MK	SITE PLAN
9	NOV09/25	MK	SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
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 Email: m.fadum@fadum.ca

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PROJECT TITLE
**2388 & 2308 128th STREET
 AND 12862 24th AVENUE**
 SURREY, B.C.

SHEET TITLE
**T1 - TREE REMOVAL AND
 PRESERVATION PLAN**
 CLIENT

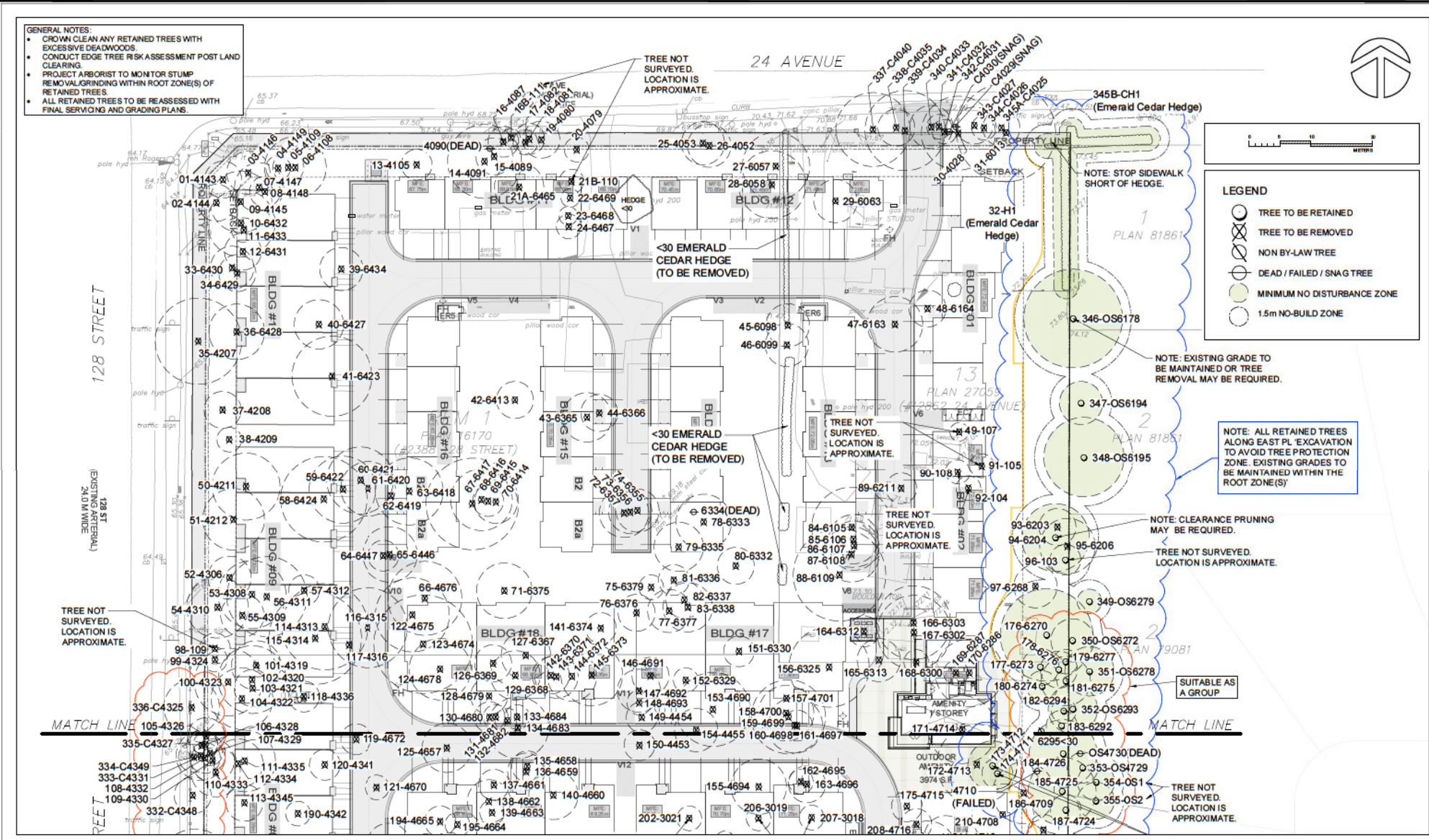
DRAWN
 MK
 SCALE
 AS SHOWN
 DATE
 APRIL 03, 2024

T-1
 SHEET 1 OF 6

- GENERAL NOTES:**
- CROWN CLEAN ANY RETAINED TREES WITH EXCESSIVE DEADWOODS.
 - CONDUCT EDGE TREE RISK ASSESSMENT POST LAND CLEARING.
 - PROJECT ARBORIST TO MONITOR STUMP REMOVAL/GRINDING WITHIN ROOT ZONE(S) OF RETAINED TREES.
 - ALL RETAINED TREES TO BE REASSESSED WITH FINAL SERVING AND GRADING PLANS.



- LEGEND**
- TREE TO BE RETAINED
 - ⊗ TREE TO BE REMOVED
 - NON BY-LAW TREE
 - ⊗ DEAD / FAILED / SNAQ TREE
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	JAN1025	MK	SITE PLAN	6	AUG1425	MK	SITE PLAN
2	JAN2225	MK	CIVIL PLAN	7	AUG2225	MK	SITE PLAN
3	FEB0625	MK	SITE PLAN	8	OCT0725	MK	SITE PLAN
4	FEB1425	MK	SITE PLAN	9	NOV0925	MK	SITE PLAN
5	FEB2025	MK	CIVIL PLAN				

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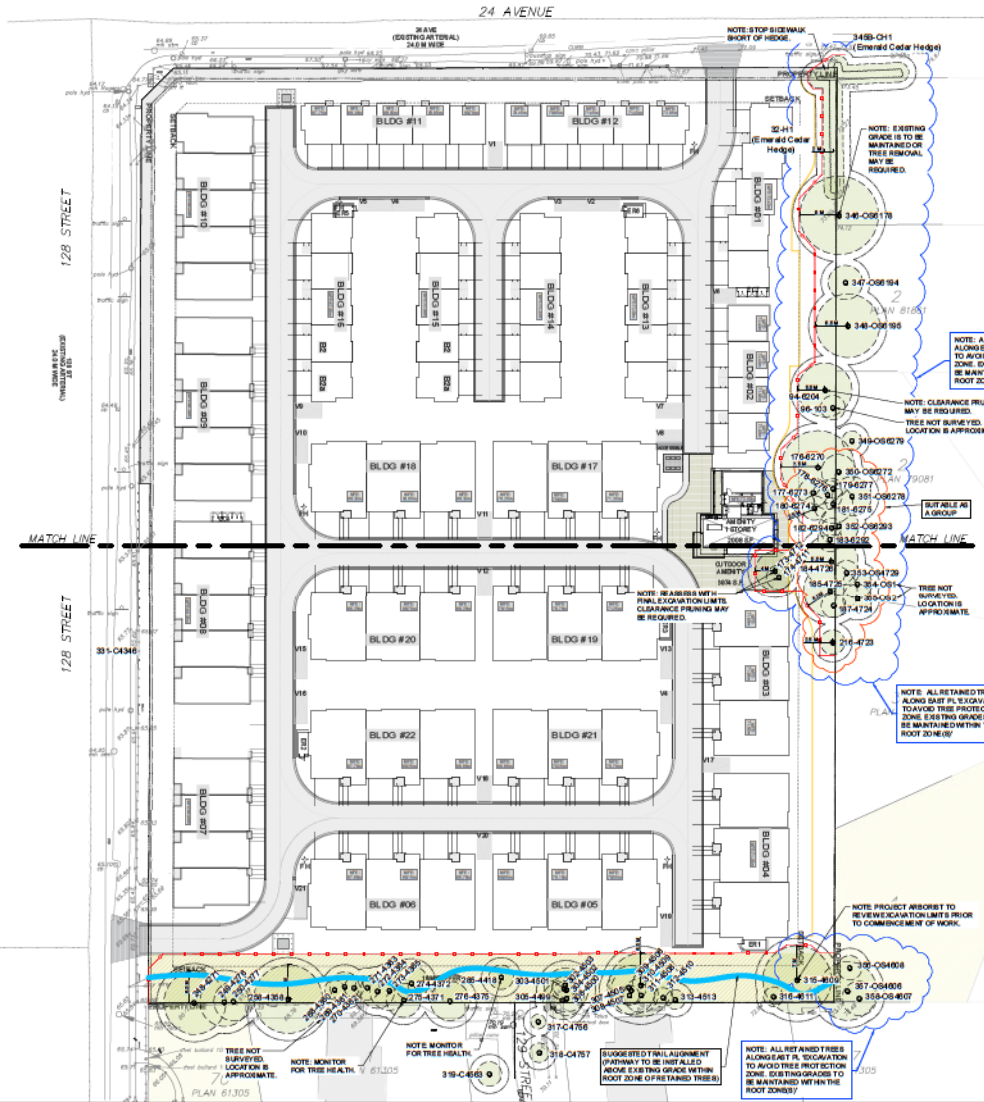
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PROJECT TITLE
**2388 & 2308 128th STREET
AND 12862 24th AVENUE**
SURREY, B.C.

SHEET TITLE
**T1A - TREE REMOVAL AND
PRESERVATION PLAN**
CLIENT

DRAWN MK
SCALE AS SHOWN
DATE APRIL 03, 2024

T-1A
SHEET 2 OF 6



- GENERAL NOTES:**
- CROWN CLEAN ANY RETAINED TREES WITH EXCESSIVE DEADWOODS
 - CONDUCT EDGE TREE RISK ASSESSMENT POST LAND CLEARING
 - PROJECT ARBORIST TO MONITOR STUMP REMOVAL/GRINDING WITHIN ROOT ZONE(S) OF RETAINED TREES
 - ALL RETAINED TREES TO BE REASSESSED WITH FINAL SERVICING AND GRADING PLANS
 - NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS
 - TREE PROTECTION FENCING TO BE MEASURED FROM EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS
 - REPLACEMENT TREES SHALL CONFORM TO BCS/LAMBDA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE PROTECTION FENCING

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	JAN10/25	MK	SITE PLAN	6	AUG14/25	MK	SITE PLAN
2	JAN22/25	MK	CIVIL PLAN	7	AUG22/25	MK	SITE PLAN
3	FEB06/25	MK	SITE PLAN	8	OCT07/25	MK	SITE PLAN
4	FEB14/25	MK	SITE PLAN	9	NOV09/25	MK	SITE PLAN
5	FEB20/25	MK	CIVIL PLAN				

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PROJECT TITLE
**2388 & 2308 128th STREET
 AND 12862 24th AVENUE**
 SURREY, B.C.

SHEET TITLE
**T2 - TREE PROTECTION
 AND PRESERVATION PLAN**
 CLIENT

DRAWN
 MK
 SCALE
 AS SHOWN
 DATE
 APRIL 03, 2024

T-2
 SHEET 4 OF 6

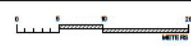


24 AVENUE

24 AVE
(EXISTING ARTERIAL)
24.0 M WIDE

NOTE: STOP SIDEWALK
SHORT OF HEDGE.

345B-CH1
(Emerald Cedar Hedge)



LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE PROTECTION FENCING

- GENERAL NOTES:
- CONDUCT EDGE TREE RISK ASSESSMENT POST LAND CLEARING.
 - PROJECT ARBORIST TO MONITOR STUMP REMOVAL/GRINDING WITHIN ROOT ZONE(S) OF RETAINED TREES.
 - ALL RETAINED TREES TO BE REASSESSED WITH FINAL SERVICES AND GRADING PLANS.
 - NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
 - TREE PROTECTION FENCING TO BE MEASURED FROM EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
 - REPLACEMENT TREES SHALL CONFORM TO BOS/LBC/LNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

NOTE: ALL RETAINED TREES ALONG EAST PL EXCAVATION TO AVOID TREE PROTECTION ZONE. EXISTING GRADES TO BE MAINTAINED WITHIN THE ROOT ZONE(S)

NOTE: CLEARANCE PRUNING MAY BE REQUIRED.
TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

SUITABLE AS A GROUP

NOTE: REASSESS WITH FINAL EXCAVATION LIMITS. CLEARANCE PRUNING MAY BE REQUIRED.

TREE NOT SURVEYED. LOCATION IS APPROXIMATE.

128 STREET

128 ST
(EXISTING ARTERIAL)
24.0 M WIDE

MATCH LINE

128 STREET

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1	JAN10/25	MK	SITE PLAN	6	AUG14/25	MK	SITE PLAN
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5	FEB20/25	MK	CIVIL PLAN				

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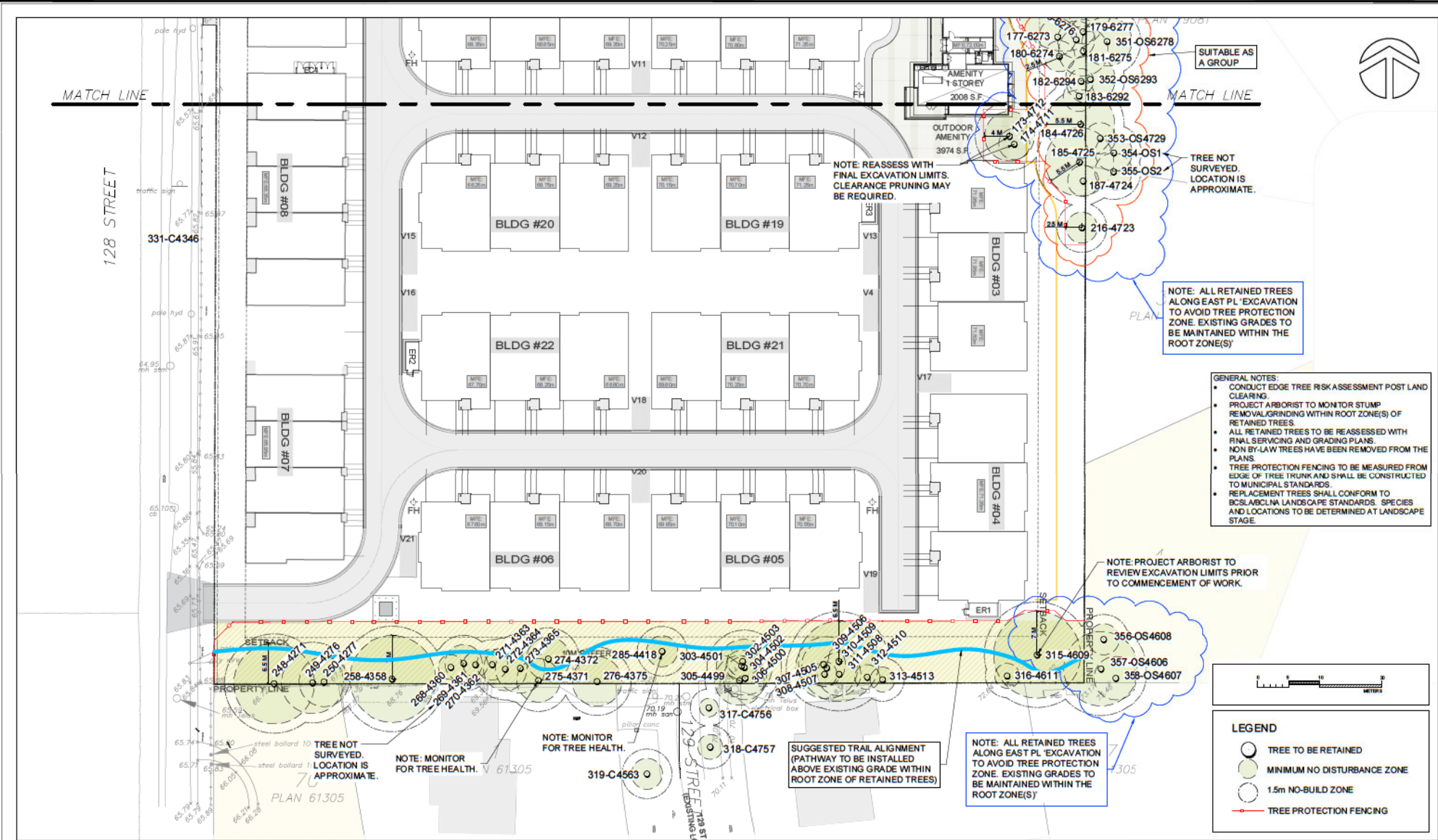
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PROJECT TITLE
2388 & 2308 128th STREET
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SURREY, B.C.

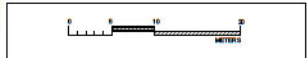
SHEET TITLE
T2A - TREE PROTECTION
AND PRESERVATION PLAN
CLIENT

DRAWN MK
SCALE AS SHOWN
DATE APRIL 03, 2024

T-2A
SHEET 6 OF 6



- GENERAL NOTES:**
- CONDUCT EDGE TREE RISK ASSESSMENT POST LAND CLEARING.
 - PROJECT ARBORIST TO MONITOR STUMP REMOVAL/GRINDING WITHIN ROOT ZONE(S) OF RETAINED TREES.
 - ALL RETAINED TREES TO BE REASSESSED WITH FINAL SERVICING AND GRADING PLANS.
 - NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
 - TREE PROTECTION FENCING TO BE MEASURED FROM EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
 - REPLACEMENT TREES SHALL CONFORM TO BCS/LABCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



- LEGEND**
- TREE TO BE RETAINED
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE
 - TREE PROTECTION FENCING

NO.	DATE	BY	REVISION
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7	AUG22/25	MK	SITE PLAN
8	OCT07/25	MK	SITE PLAN
9	NOV09/25	MK	SITE PLAN

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PROJECT TITLE
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SHEET TITLE
**T2B - TREE PROTECTION
 AND PRESERVATION PLAN**
 CLIENT

DRAWN MK
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 DATE APRIL 03, 2024

T-2B
 SHEET 6 OF 6

TREE PRESERVATION BY LOCATION

Surrey File Number: TBD
 Address: 2388 2308 128 Street & 12862 24 Avenue, Surrey, BC
 Arborist: Elvis Truong PN-9567A
 Date of Report/Revision: Wednesday, November 5, 2025

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

Alder & Cottonwood Trees			
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	53	52	1
Alder/Cottonwood (within riparian area)	0	0	0
Total	53	52	1
Deciduous Trees (excluding Alder & Cottonwood Trees)			
Tree Species	Existing	Remove	Retain
Apple	7	7	0
Birch, Paper	5	4	1
Birch, Weeping	1	1	0
Black Locust	9	9	0
Buckthorn	1	1	0
Cherry	7	5	2
Elm	7	7	0
Holly, English	8	8	0
Maple, Bigleaf	28	24	4
Mountain Ash, European	1	0	1
Oak, English	1	1	0
Oak, Pin	1	1	0
Poplar, Lombardy	3	3	0
Deciduous Subtotal	79	71	8
Coniferous Trees			
Tree Species	Existing	Remove	Retain
Cedar, Deodar	1	1	0
Douglas-fir	143	116	27
Falsecypress	1	1	0
Pine, Scots	2	2	0
Spruce	1	1	0
Western hemlock	1	1	0
Western Redcedar	38	30	8
Coniferous Subtotal	187	152	35
Deciduous & Coniferous Total	266	223	43
Onsite Tree Totals		319	
Onsite Replacement Trees Proposed *insert "0" if TBD or unknown		159	
Total Onsite Retained and Replacement Trees		203	

Alder & Cottonwood Trees			
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	0	0	0
Alder/Cottonwood (within riparian area)	0	0	0
Total	0	0	0
Deciduous & Coniferous (excluding Alder & Cottonwood Trees)			
Tree Species	Existing	Remove	Retain
Douglas-Fir	9	0	9
Maple, Bigleaf	2	0	2
Cherry	1	0	1
Western Redcedar	1	0	1
Deciduous & Coniferous Total	13	0	13
Offsite Tree Totals	13	0	13
Total Offsite Retained Trees		13	

CITY	Existing	Remove	Retain
Park/City Lot Trees	0	0	0
Boulevard Trees	29	26	3
Total	29	26	3

TREE PRESERVATION SUMMARY

Surrey File Number: TBD
 Address: 2388 2308 128 Street & 12862 24 Avenue, Surrey, BC
 Arborist: Elvis Truong PN-9567A
 Date of Report/Revision: Wednesday, November 5, 2025

Arborist Signature



*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ONSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>319</u>
Proposed Removed Bylaw Trees				<u>275</u>
Proposed Retained Bylaw Trees				<u>44</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	Removed			Subtotal
	52	x	1	52
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed			Subtotal
	0	x	2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed			Subtotal
	223	x	2	446
Required Replacement Trees				<u>498</u>
Proposed Replacement Trees				<u>159</u>
Deficit of Replacement Trees				<u>339</u>
Total Onsite Retained and Replacement Trees				<u>203</u>

<u>OFFSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>13</u>
Proposed Removed Bylaw Trees				<u>0</u>
Proposed Retained Bylaw Trees				<u>13</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	Removed			
	0	x	1	0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed			
	0	x	2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed			
	0	x	2	0
*To be taken as cash-in-lieu				<u>0</u>
Total Offsite Retained Trees				<u>13</u>

<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	0	0	0
Boulevard Trees	29	26	3
Total	29	26	3

Department: **Planning and Demographics**
 Date: **November 10, 2025**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **25-0099-00**

The proposed development of **89** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	79
---	----

Projected Number of Students From This Development In:	
Elementary School =	43
Secondary School =	23
Total Students =	66

Current Enrolment and Capacities:	
Crescent Park Elem	
Enrolment	306
Operating Capacity	457
# of Portables	0
Elgin Park Sec	
Enrolment	1429
Operating Capacity	1200
# of Portables	4

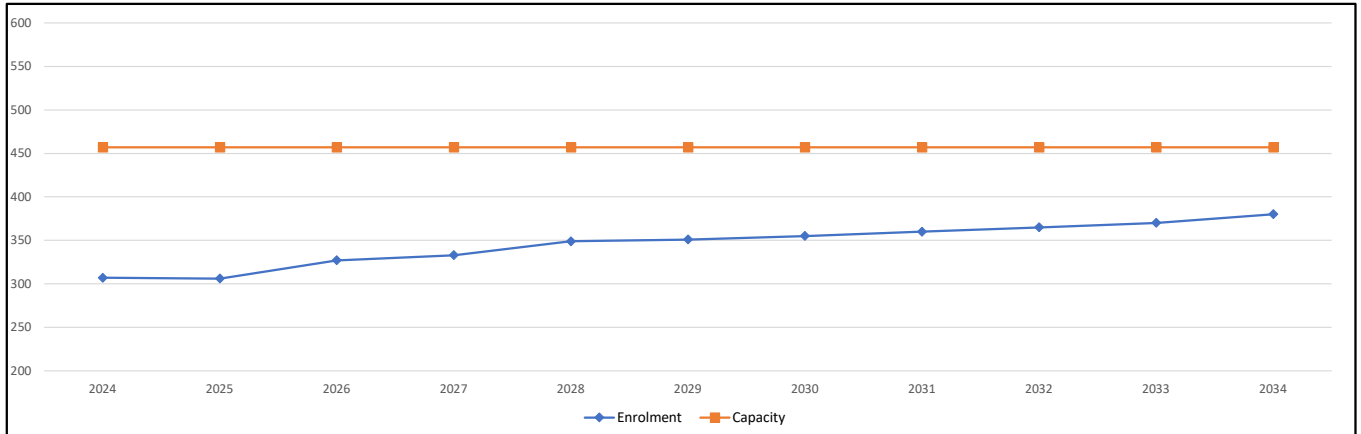
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

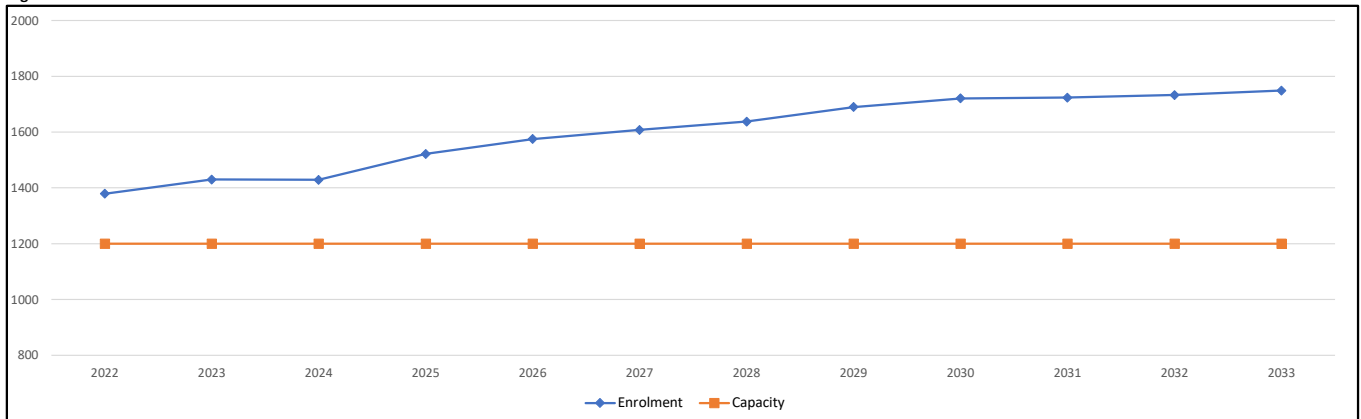
As of September 2025, Crescent Park Elementary is at 67% capacity. Enrollment is expected to remain relatively constant over the next 10 years and what growth the school might experience, the school is large enough to accommodate

As of September 2025, Elgin Park is at 119% capacity. Elgin Park Secondary enrolment is expected to grow over the next 10 years. As part of the District's 2026/2027 Capital Plan, there is a request for a 800-capacity addition to address continued growth. No funding has been approved to date.

Crescent Park Elem



Elgin Park Sec



Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.